

NOTES

- THE PURPOSE OF THIS PLAN IS
A. TO SUBDIVIDE TAX MAP 5 LOT 111-101 INTO 4 SINGLE FAMILY HOUSE LOTS WITH 4 BEDROOMS OR LESS.
- TOTAL PARCEL AREA = 24.07 ACRES
- LOT 111-101 HAS AN EXISTING SHED/GARAGE. ALL LOTS WILL HAVE ON SITE WELLS AND SEPTIC SYSTEMS IN ACCORDANCE WITH ARTICLE 4.3.4.3 OF THE CHESTER ZONING ORDINANCE.
- THIS SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP No. 33015C0355E, EFFECTIVE DATE: MAY 17, 2005.
- NHDOT DRIVEWAY PERMIT No. **05-085-0019**
- THIS PLAN CONTAINS A TOTAL OF 9 SHEETS. SHEETS 1 - 3 ARE ON FILE AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. THE ENTIRE SET IS ON FILE AT THE TOWN OF CHESTER PLANNING DEPARTMENT, WHICH TOGETHER CONSTITUTE THE PLAN WHICH IS APPROVED BY THE CHESTER PLANNING BOARD.
- PRESENT ZONING: R1 - RESIDENTIAL
MINIMUM LOT AREA = 2 ACRES
MINIMUM ROAD FRONTAGE = 290'

BUILDING/STRUCTURE SETBACKS
MINIMUM FRONT SETBACK = 40'
MINIMUM SIDE AND REAR SETBACK = 25'

SEPTIC SYSTEM SETBACKS
MINIMUM FRONT SETBACK = 40'
MINIMUM SIDE AND REAR SETBACK = 25'

WELLS TO HAVE A 100' PROTECTIVE RADIUS

	WETLANDS, PONDS & STREAMS	VERNAL POOLS
BUILDING SETBACKS	75 FT	100 FT
SEPTIC SYSTEM SETBACK	75 FT	100 FT
WELL	25 FT	25 FT
NO CLEAR BUFFER *	25 FT	50 FT

*WITHIN THE NO CLEAR BUFFER, CLEARING INCIDENTAL TO DRIVEWAY CONSTRUCTION IS ALLOWED AND NO MORE THAN 50 PERCENT OF THE BASAL AREA OF TREES AND VEGETATION CAN BE REMOVED ANNUALLY (PER ZONING ARTICLE 5, SECTION 7.2.7).

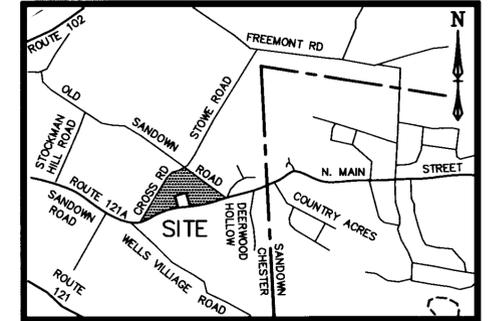
- THE CONTRACTOR/HOMEOWNER SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 331 MONTVALE AVE., WOBURN, MA. (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
- ALL ABUTTERS TO THIS PROJECT ARE LOCATED WITHIN THE R1-RESIDENTIAL ZONE.
- THOSE PROPOSED DRIVEWAYS ON NH RT. 121A SHALL BE IN ACCORDANCE WITH THE APPROVAL OF NHDOT.
- THE PROPOSED PERMANENT BOUNDARY MARKERS SHALL CONFORM TO ARTICLE 4.3.8 OF THE CHESTER SUBDIVISION REGULATIONS. ALL MONUMENTS WERE SET BY THIS OFFICE UNLESS OTHERWISE NOTED.
- PER THE CONDITIONS OF APPROVAL, THE FOLLOWING DEED RESTRICTIONS SHALL BE REQUIRED:
 - THE PROHIBITION OF THE FILLING IN OR MODIFICATION OF ANY DRAINAGE SWALES WITHIN EASEMENT AREAS,
 - THE PROHIBITION OF THE INSTALLATION OF IN-GROUND, LAWN IRRIGATION SYSTEMS WITHIN TOWN RIGHT-OF-WAYS,
 - THE PROHIBITION OF THE LOAMING AND SEEDING OF ROADWAY SHOULDERS WITHIN THE TOWN RIGHT-OF-WAY,
 - AND NOTICE THAT LOT OWNER(S) MAY ALSO, AT THE BOARD'S DISCRETION, BE FINANCIALLY LIABLE TO REIMBURSE THE TOWN FOR ANY LEGAL AND RESTORATION COSTS INCURRED IN THE ENFORCEMENT OF THESE DEED RESTRICTIONS.

PLAN REFERENCES

- "A SURVEY AND PLAT OF PROPERTY KNOWN AS LOT NO. 86 - CHESTER TAX MAP NO. 5 OWNED BY NEW HAMPSHIRE ELECTRIC COOPERATIVE, INC. AND SITUATED IN THE TOWN OF CHESTER, N.H." MAY 26, 1982 SCALE: 1" = 50' PREPARED BY R.S.L. LAYOUT & DESIGN, INC. R.C.R.D. PLAN #D-10842.
- "TAX MAP 5 LOT 112 PLAN OF LAND IN CHESTER, N.H. OWNED BY FLOREEN MARONCELLI" SCALE: 1" = 100', APRIL 15, 1983 PREPARED BY JAMES M. LAVELLE R.C.R.D. PLAN #C-11767.
- "BOOK 2203, PG. 0784, TAX MAP 6 PARCEL 17 SUBDIVISION PLAN OF LAND IN CHESTER NH AS DRAWN FOR MICHAEL BABIN," DATED: 2-24-92, PREPARED BY JAMES M. LAVELLE ASSOC., R.C.R.D. PLAN #D-21704.
- "BOOK 2203, PG. 0784, TAX MAP 6 PARCEL 17 SUBDIVISION PLAN OF LAND IN CHESTER NH AS DRAWN FOR MICHAEL BABIN," DATED: 3-22-94, PREPARED BY JAMES M. LAVELLE ASSOC., R.C.R.D. PLAN #D-22895.
- "BOOK 2414, PG. 1938, TAX MAP 6 PARCEL 17 SUBDIVISION PLAN OF LAND IN CHESTER NH AS DRAWN FOR MICHAEL BABIN," SCALE: 1" = 100', DATED: 8-18-95, PREPARED BY JAMES M. LAVELLE ASSOC., R.C.R.D. PLAN #D-24240.
- "SUBDIVISION PLAN MAP 5 LOT 107 SANDOWN ROAD, CHESTER, NH 03036 SCALE: 1" = 100' OCT, 1997" OWNER OF RECORD: LARRY DOWNING & SUZZANE DOWNING PREPARED BY: STEVEN C. LUGER, LAND SURVEYOR, R.C.R.D. PLAN #D-26014.
- "PHASE 1 TAX MAP 6 PARCEL 17 LOCATED IN CHESTER NH TO BE KNOWN AS TURNAGAIN ESTATES" AS DRAWN FOR TURNAGAIN, LLC, DATED: 1-5-1996, PREPARED BY JAMES M. LAVELLE ASSOC., R.C.R.D. PLAN #D-24699.
- "SUBDIVISION PLAN OF LAND TAX MAP 5 LOT 111 SANDOWN (ROUTE 121A), CROSS & OLD SANDOWN ROADS, CHESTER, NH OWNER OF RECORD: MICHAEL BABIN, FEBRUARY 10, 2016, SCALE: 1" = 60" LAST REVISED ON 5/23/16, PREPARED BY THIS OFFICE, R.C.R.D. PLAN #D-39524.

LEGEND

- CBF CONCRETE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- DHF DRILL HOLE FOUND
- OHU OVER HEAD UTILITIES
- ESW EXISTING STONE WALL
- EPW EDGE OF PAVEMENT
- EWL LIMIT OF WETLANDS
- MBT MINIMUM BUILDING SETBACK (TYP)
- NCB NO CUT BUFFER (TYP)
- HN HOUSE NUMBER

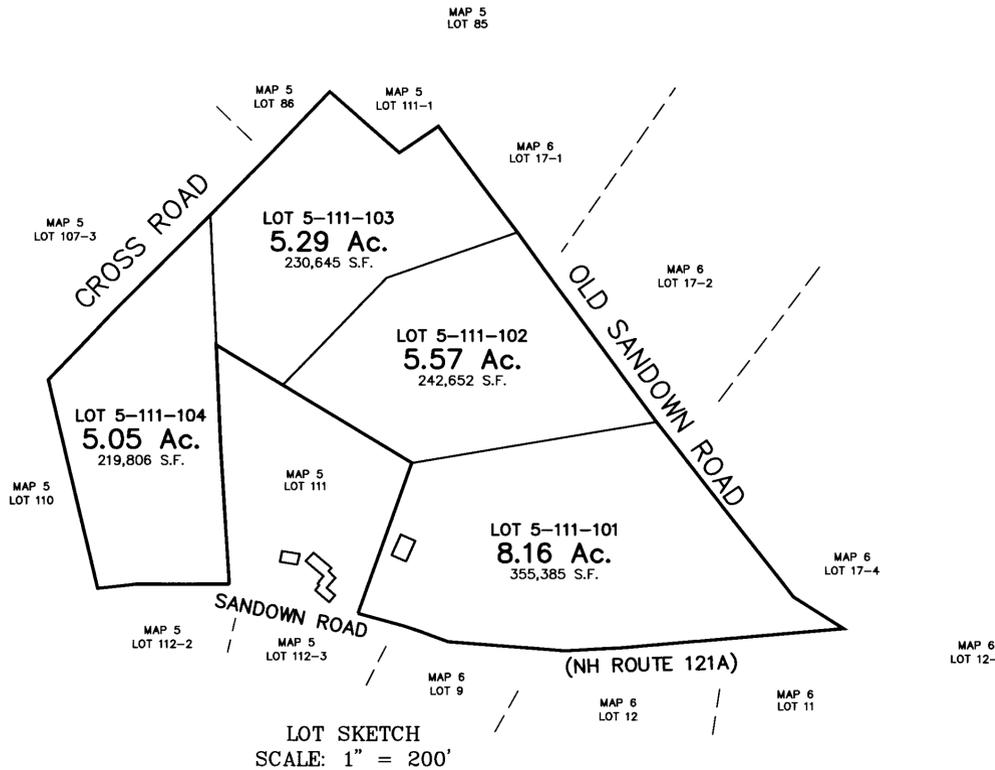


VICINITY PLAN

SCALE: 1" = 2,500'

SHEET INDEX

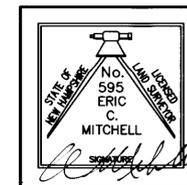
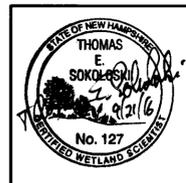
- SHEETS 1 - 3 SUBDIVISION PLAN OF LAND
- SHEETS 4 & 5 TOPOGRAPHIC PLAN
- SHEETS 6 - 8 DRIVEWAY PLAN & PROFILE
- SHEET 9 CONSTRUCTION DETAILS



LOT SKETCH
SCALE: 1" = 200'

WETLAND NOTES:

- TOM SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING ON SEPTEMBER 8, 2015 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
- NO VERNAL POOLS WERE FOUND ON THIS SITE.



I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND DURING MAY THROUGH OCTOBER OF 2015 AND HAS A RELATIVE ERROR OF CLOSURE NO GREATER THAN ONE PART IN TEN THOUSAND.

Eric C. Mitchell 6/29/16
ERIC C. MITCHELL L.L.S. NO. 595 DATE

PRESENT OWNER OF RECORD:
LOT 111-101, TAX MAP 5
RCRD VOL 2414, PG 1938

MICHAEL R. BABIN
241 SANDOWN ROAD
CHESTER, NH 03036
Michael R. Babin
AUTHORIZED SIGNATURE

APPROVED BY THE CHESTER, NH

PLANNING BOARD ON: _____

CERTIFIED BY: _____

CHAIRMAN: _____

SECRETARY: _____

SUBDIVISION PLAN OF LAND
TAX MAP 5 • LOT 111-101
SANDOWN (ROUTE 121A),
CROSS & OLD SANDOWN ROADS
CHESTER, NH

OWNER OF RECORD:
MICHAEL BABIN
241 SANDOWN ROAD, CHESTER, NH 03036
JUNE 29, 2016

SCALE: 1" = 200'

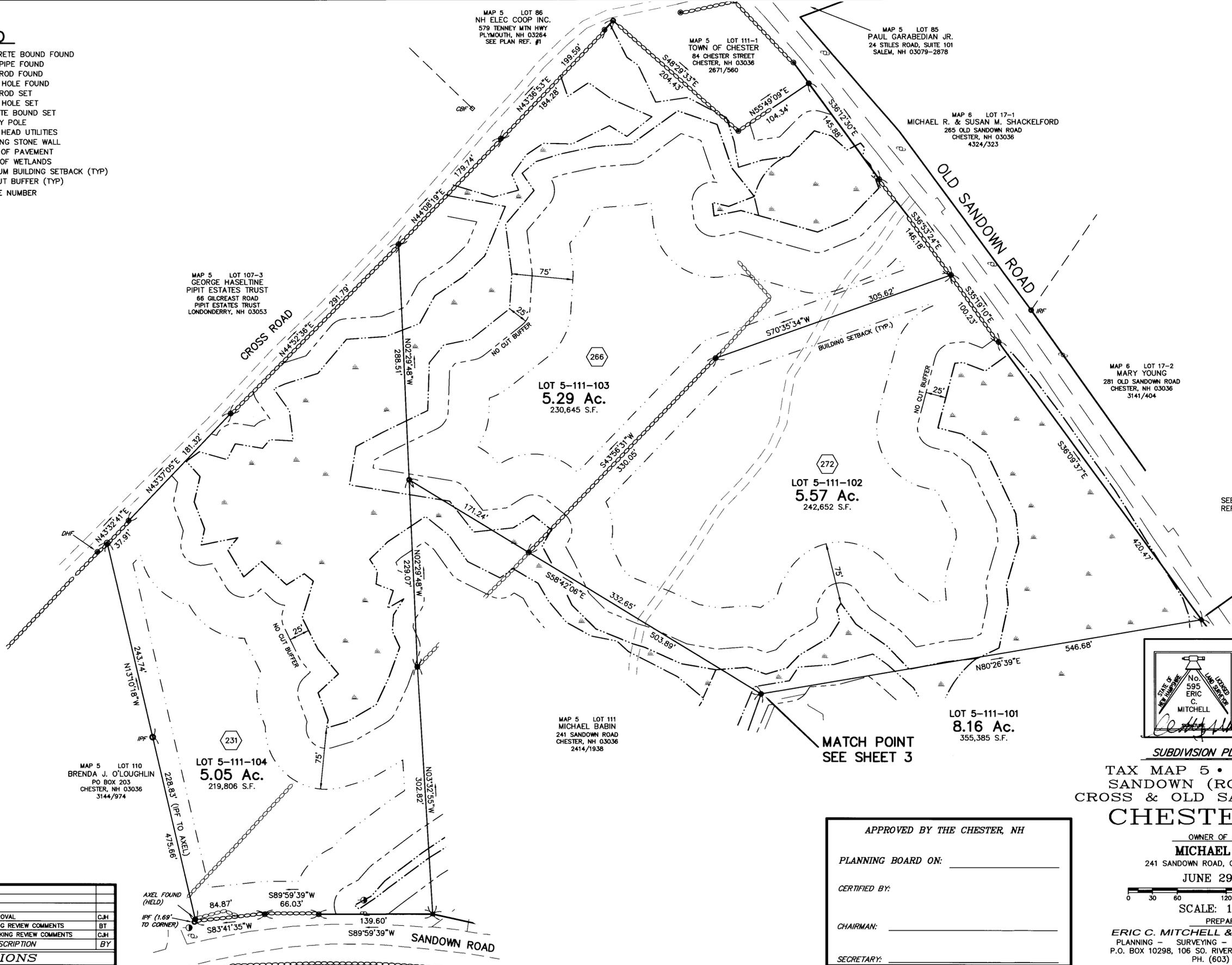
PREPARED BY
ERIC C. MITCHELL & ASSOC. INC.
PLANNING - SURVEYING - ENVIRONMENTAL
P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298
PH. (603) 627-1181

REV.	DATE	DESCRIPTION	BY
C	9/15/16	CONDITIONS OF APPROVAL	C.J.H.
B	8/16/16	ADDRESS DUBOIS KING REVIEW COMMENTS	BT
A	7/29/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	C.J.H.

REVISIONS

LEGEND

- CBF CONCRETE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- DHF DRILL HOLE FOUND
- IRON ROD SET
- DRILL HOLE SET
- GRANITE BOUND SET
- UTILITY POLE
- OHU OVER HEAD UTILITIES
- EXISTING STONE WALL
- EDGE OF PAVEMENT
- LIMIT OF WETLANDS
- MINIMUM BUILDING SETBACK (TYP)
- NO CUT BUFFER (TYP)
- HOUSE NUMBER

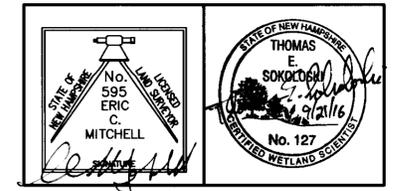


NOTES

SEE SHEET 1 FOR NOTES, PLAN REFERENCES AND VICINITY PLAN

MATCH POINT
SEE SHEET 3

MATCH POINT
SEE SHEET 3



SUBDIVISION PLAN OF LAND

TAX MAP 5 • LOT 111-101
SANDOWN (ROUTE 121A),
CROSS & OLD SANDOWN ROADS
CHESTER, NH

APPROVED BY THE CHESTER, NH
PLANNING BOARD ON: _____
CERTIFIED BY: _____
CHAIRMAN: _____
SECRETARY: _____

OWNER OF RECORD:
MICHAEL BABIN
241 SANDOWN ROAD, CHESTER, NH 03036
JUNE 29, 2016

SCALE: 1" = 60'

PREPARED BY:
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REVISIONS

LEGEND

- CBF CONCRETE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- DHF DRILL HOLE FOUND
- IRON ROD SET
- DRILL HOLE SET
- GRANITE BOUND SET
- UTILITY POLE
- OHU OVER HEAD UTILITIES
- EXISTING STONE WALL
- EDGE OF PAVEMENT
- LIMIT OF WETLANDS
- MINIMUM BUILDING SETBACK (TYP)
- NO CUT BUFFER (TYP)
- 20 HOUSE NUMBER
- PERC TEST
- TP-6 TEST PIT
- 20 HOUSE NUMBER
- 4000 S.F. AREA SUITABLE FOR SEPTIC
- PD POORLY DRAINED SOILS
- VPD VERY POORLY DRAINED SOILS

SOIL LEGEND

- 43C - CANTON GRAVELLY FINE SANDY LOAM
8-15% SLOPES, VERY STONY
 - 44B - MONTAUK FINE SANDY LOAM
3-8% SLOPES
 - 447A - SCITUATE NEWFIELDS COMPLEX
0-3% SLOPES, VERY STONY
 - 447B - SCITUATE NEWFIELDS COMPLEX
3-8% SLOPES, VERY STONY
 - 657B - RIDGEBURY VERY FINE SANDY LOAM
3-8% SLOPES, VERY STONY
 - 97 - GREENWOOD AND OSSISPEE SOILS, PONDED
 - 125 - SCARBORO MUCK, VERY STONY
- SOILS INFORMATION TAKEN FROM "GRANT DATABASE"

NOTES

SEE SHEET 1 FOR NOTES, PLAN REFERENCES AND VICINITY PLAN

MATCH POINT
SEE SHEET 5

NEW HAMPSHIRE
 Designer of
 Subsurface Disposal
 Systems

 Eric C. Mitchell
 No. 709

STATE OF
 NEW HAMPSHIRE
 No. 595
 ERIC
 C.
 MITCHELL

TOPOGRAPHIC PLAN

**TAX MAP 5 • LOT 111-101
 SANDOWN (ROUTE 121A),
 CROSS & OLD SANDOWN ROADS
 CHESTER, NH**

OWNER OF RECORD:
MICHAEL BABIN
 241 SANDOWN ROAD, CHESTER, NH 03036
 JUNE 29, 2016

SCALE: 1" = 60'

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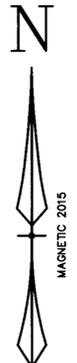
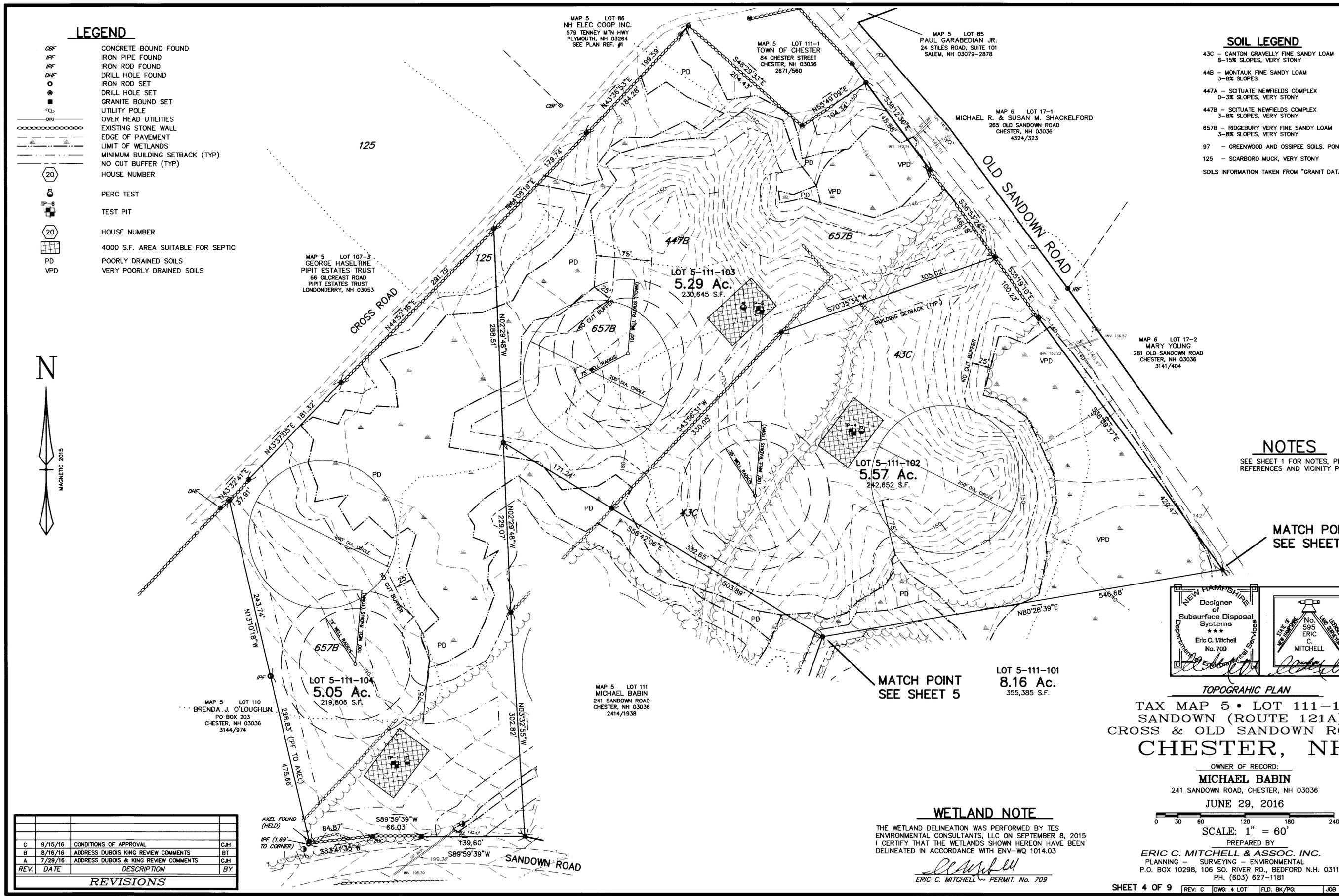
WETLAND NOTE

THE WETLAND DELINEATION WAS PERFORMED BY TES ENVIRONMENTAL CONSULTANTS, LLC ON SEPTEMBER 8, 2015. I CERTIFY THAT THE WETLANDS SHOWN HEREON HAVE BEEN DELINEATED IN ACCORDANCE WITH ENV-WQ 1014.03

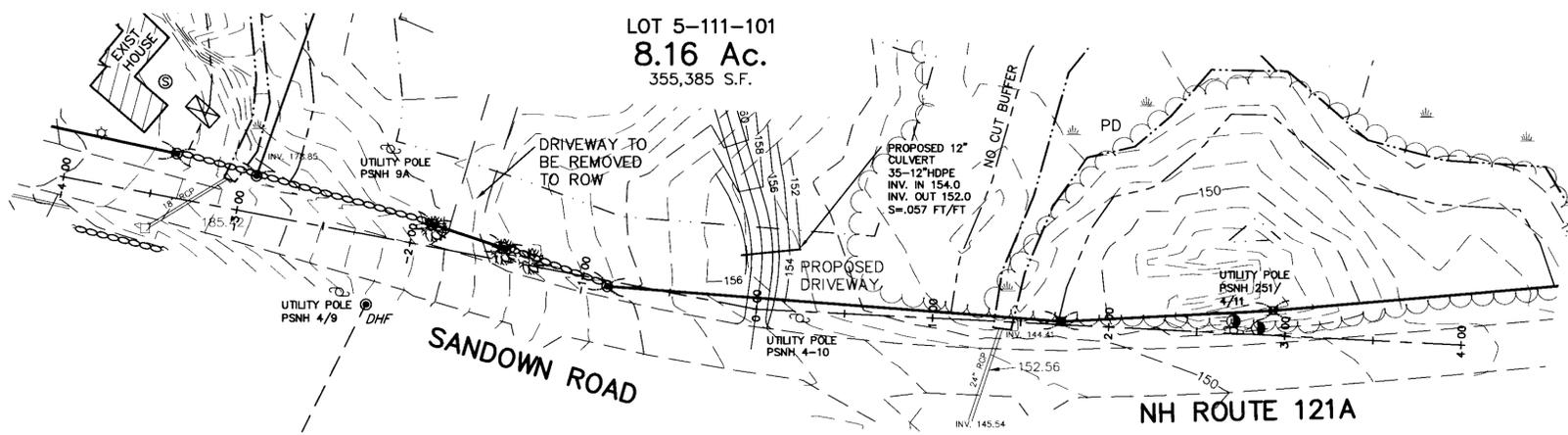
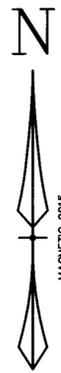
Eric C. Mitchell
 ERIC C. MITCHELL PERMIT. No. 709

REV.	DATE	DESCRIPTION	BY
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B	8/16/16	ADDRESS DUBOIS KING REVIEW COMMENTS	BT
A	7/29/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	C.H.
REV.	DATE	DESCRIPTION	BY

REVISIONS



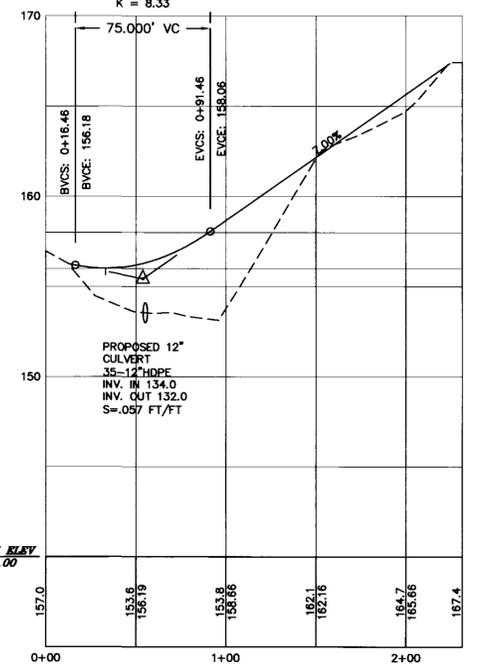
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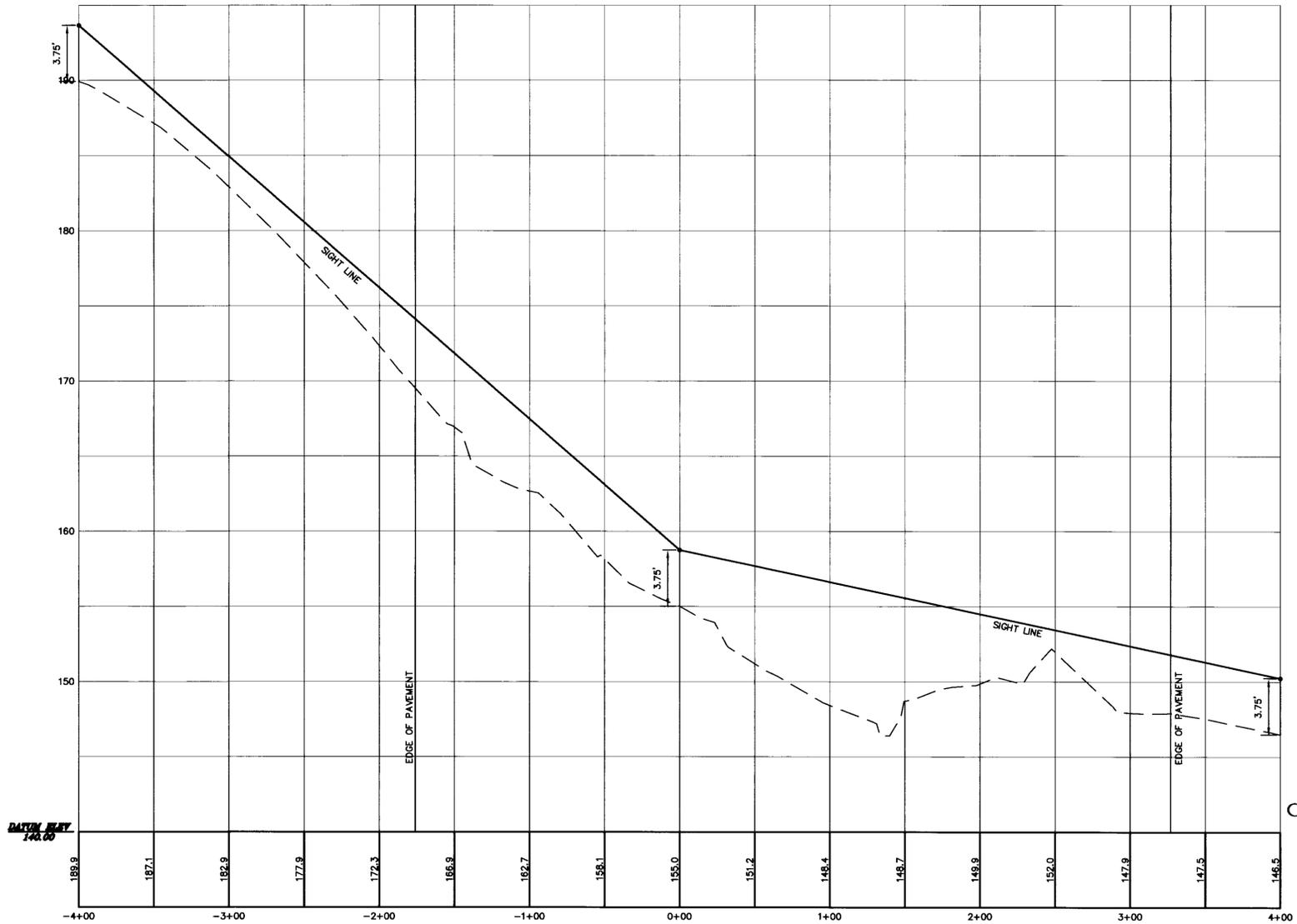
LEGEND

- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IRON PIPE / PIN
- DRILL HOLE
- GRANITE BOUND SET
- UTILITY POLE
- OHU OVER HEAD UTILITIES
- EXISTING STONE WALL
- EDGE OF PAVEMENT
- LIMIT OF WETLANDS
- MINIMUM BUILDING SETBACK (TYP)
- NO CUT BUFFER (TYP)

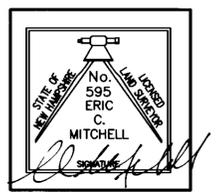
LOW POINT ELEV = 156.02
 LOW POINT STA = 0+33.12
 PVI STA = 0+53.96
 PVI ELEV = 155.43
 A.D. = 9.00
 K = 8.33



111-101



NOTE: THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND THE SIGHT LINES TO ACHIEVE VISIBILITY.



NHDOT SIGHT DISTANCE PLAN & PROFILE
 TAX MAP 5 • LOT 111-101
 SANDOWN (ROUTE 121A),
 CROSS & OLD SANDOWN ROADS
CHESTER, NH

OWNER OF RECORD:
MICHAEL BABIN

241 SANDOWN ROAD, CHESTER, NH 03036
 JUNE 29, 2016

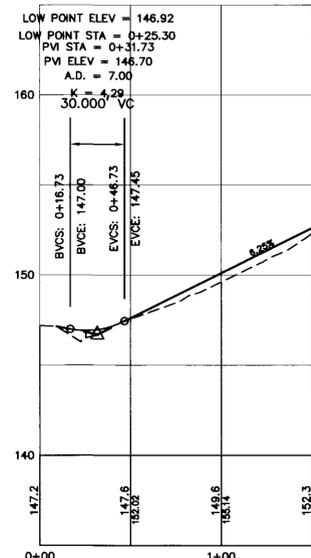
SCALE: 1" = 50'

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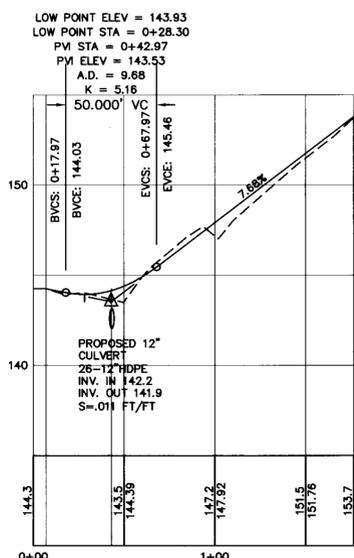
REVISIONS		
REV.	DATE	DESCRIPTION
C	9/15/16	CONDITIONS OF APPROVAL

ROUTE 121A (SANDOWN ROAD)
 PROPOSED DRIVE MAP 5 LOT 111-101
 SIGHTLINE 10' OFFSET FROM PAVEMENT EDGE
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE 1" = 5'

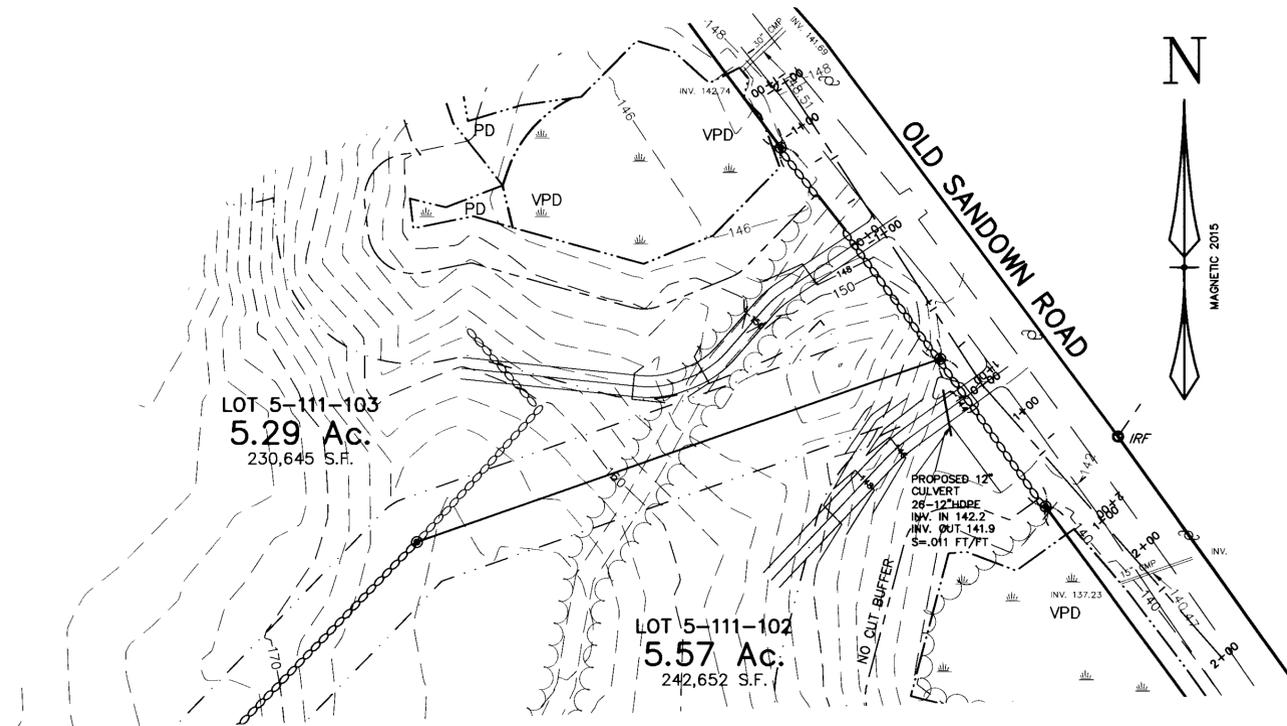
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111-103

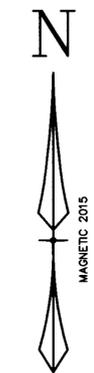


111-102



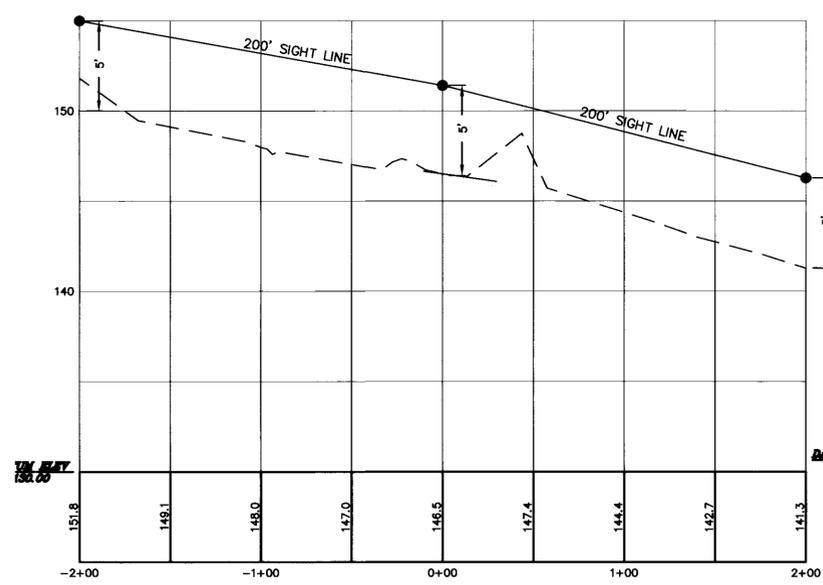
LEGEND

- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IRON PIPE / PIN
- DRILL HOLE
- GRANITE BOUND SET
- UTILITY POLE
- OHU OVER HEAD UTILITIES
- EXISTING STONE WALL
- EDGE OF PAVEMENT
- - - LIMIT OF WETLANDS
- MINIMUM BUILDING SETBACK (TYP)
- - - NO CUT BUFFER (TYP)

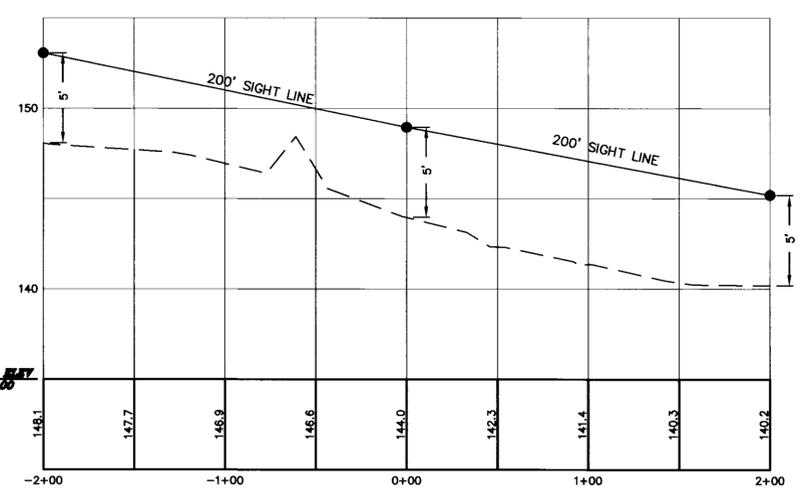


I HEREBY CERTIFY THAT ANY ADDITIONAL STORM WATER RUNOFF INCIDENTAL TO THE DEVELOPMENT OF THIS SITE SHALL HAVE NO ADVERSE EFFECTS ON ANY OPEN OR CLOSED, PUBLIC OR PRIVATE, DOWNSTREAM DRAINAGE FACILITIES.

Bernie Temple 9/15/16
BERNIE TEMPLE, PE # 15108 DATE



OLD SANDOWN ROAD
PROPOSED DRIVE MAP 5 LOT 111-103
SIGHTLINE 10' OFFSET FROM GRAVEL EDGE



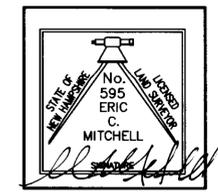
OLD SANDOWN ROAD
PROPOSED DRIVE MAP 5 LOT 111-102
SIGHTLINE 10' OFFSET FROM GRAVEL EDGE

HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE 1" = 5'

I ALSO HEREBY CERTIFY THAT ADEQUATE ALL SEASON SAFE SIGHT DISTANCE IN ACCORDANCE WITH ARTICLE 4.12.9.5 OF THE TOWN OF CHESTER SUBDIVISION REGULATIONS CAN BE ACHIEVED AT THE PROPOSED DRIVEWAY LOCATIONS.

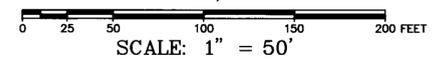
Bernie Temple 9/15/16
BERNIE TEMPLE, PE # 15108 DATE

NOTE: THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND THE SIGHT LINES TO ACHIEVE VISIBILITY.



DRIVEWAY SIGHT DISTANCE PLAN & PROFILE
TAX MAP 5
LOTS 111-102 & 111-103
SANDOWN (ROUTE 121A),
CROSS & OLD SANDOWN ROADS
CHESTER, NH

OWNER OF RECORD:
MICHAEL BABIN
241 SANDOWN ROAD, CHESTER, NH 03036
JUNE 29, 2016

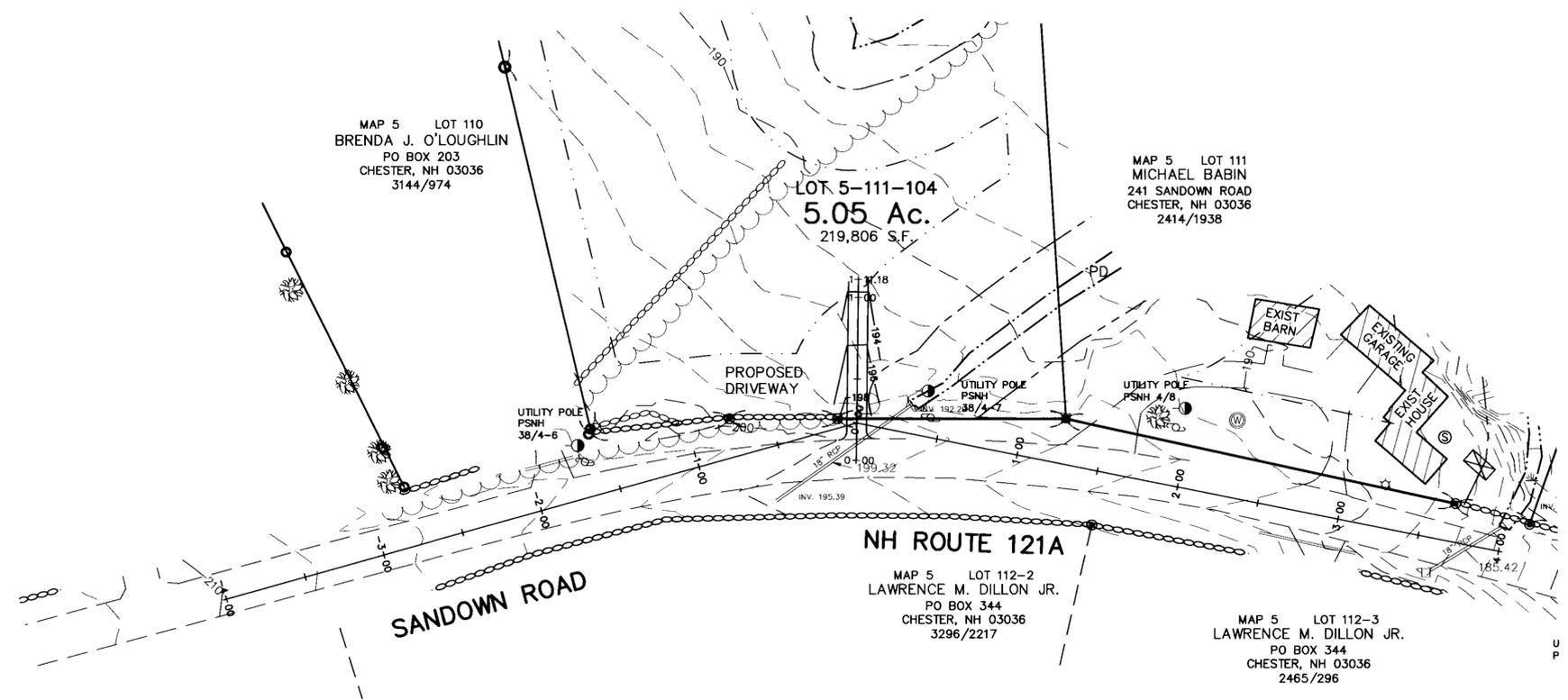


PREPARED BY
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PLANNING - SURVEYING - ENVIRONMENTAL
P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298
PH. (603) 627-1181

REV.	DATE	DESCRIPTION	BY
C	9/15/16	CONDITIONS OF APPROVAL	C.H
B	8/16/16	ADDRESS DUBOIS KING REVIEW COMMENTS	BT
A	7/29/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	C.H

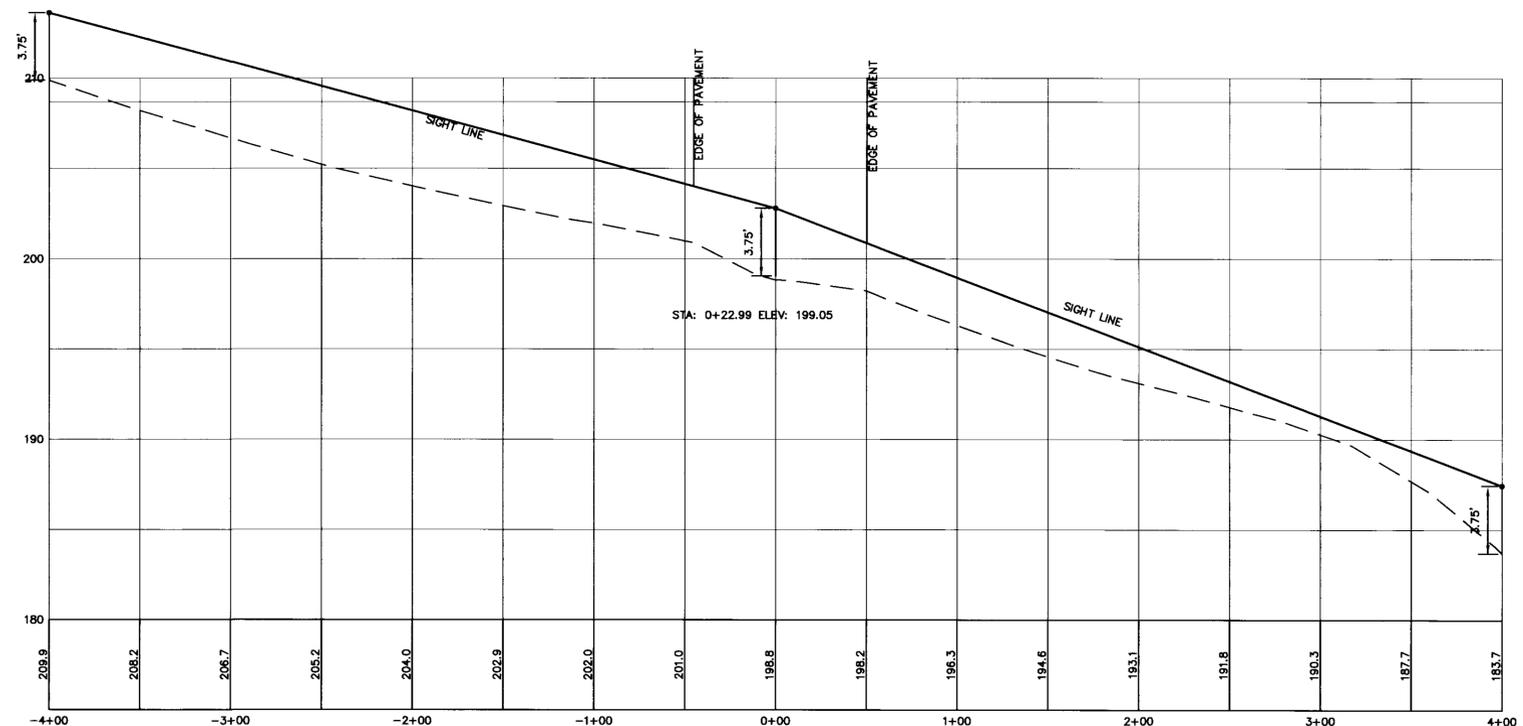
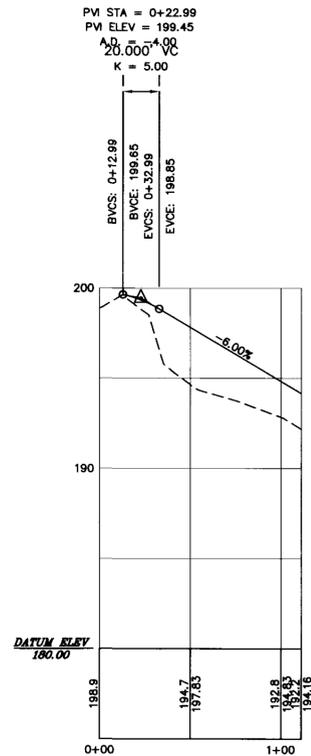
REVISIONS

K:\Documents\150-20-000\15-20-000\4 LOT S&B.dwg DRIVE LOTS 111-102 & 111-103 9/16/2016 10:23:00 AM

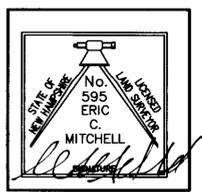


LEGEND

CBF	CONCRETE BOUND FOUND
IPF	IRON PIPE FOUND
IRF	IRON ROD FOUND
DHF	DRILL HOLE FOUND
○	IRON ROD SET
●	DRILL HOLE SET
■	GRANITE BOUND SET
○	UTILITY POLE
OHU	OVER HEAD UTILITIES
-----	EXISTING STONE WALL
-----	EDGE OF PAVEMENT
-----	LIMIT OF WETLANDS
-----	MINIMUM BUILDING SETBACK (TYP)
-----	NO CUT BUFFER (TYP)
20	HOUSE NUMBER

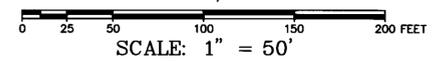


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NHDOT SIGHT DISTANCE PLAN & PROFILE
TAX MAP 5 • LOT 111-104
SANDOWN (ROUTE 121A),
CROSS & OLD SANDOWN ROADS
CHESTER, NH

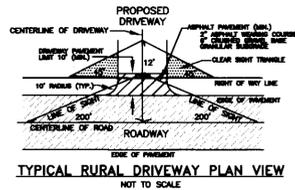
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 JUNE 29, 2016



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 PH. (603) 627-1181

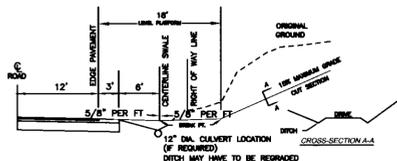
ROUTE 121A (SANDOWN ROAD)
NEW DRIVE MAP 5 LOT 111-104
SIGHTLINE 10' OFFSET FROM PAVEMENT EDGE
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE 1" = 5'

REV.	DATE	DESCRIPTION	BY
C	9/15/16	CONDITIONS OF APPROVAL	CJM
REVISIONS			

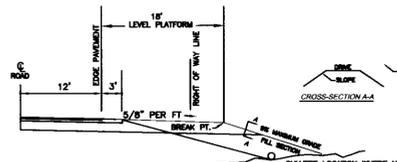


TYPICAL RURAL DRIVEWAY PLAN VIEW
NOT TO SCALE

- DRIVEWAY CONSTRUCTION REQUIREMENTS**
1. ALL DRIVEWAYS CONNECTED TO TOWN ROADS MUST BE BUILT AND MAINTAINED BY THE HOMEOWNER OR HIS/HER REPRESENTATIVE IN ACCORDANCE WITH THESE SPECIFICATIONS.
 2. DRIVEWAYS CAN NOT OVERT OR INTERRUPT THE NATURAL OR DITCHLINE FLOW OF RUNOFF. IN MOST CASES, THIS CAN BE ACCOMPLISHED THROUGH THE INSTALLATION OF A RCP, CORRUGATED ALUMINUM, CORRUGATED HOPE OR PVC METAL PIPE CULVERT (12" MINIMUM OR AS SPECIFIED HEREIN) UNDER THE DRIVEWAY WITH PROPER ALIGNMENT AND GRADE.
 3. WHERE SHALLOW DITCHLINES EXIST AT THE CREST OF A TOWN ROAD OR NATURAL DRAINAGE COURSES DISCHARGE RUNOFF FROM THE TOWN ROADWAY, DRIVEWAYS MAY BE REQUIRED TO BE DEPRESSED AT A POINT BEYOND THE ROAD SHOULDER TO ACCOMMODATE THE FLOW OF SURFACE WATER. (SEE TYPICAL DRIVEWAY PROFILE DETAILS BELOW).
 4. THE PROPOSED DRIVEWAY LOCATION MUST BE STAKED OUT PRIOR TO APPROVAL OF THE PERMIT.
 5. THERE SHALL BE NO PERMANENT STRUCTURE CONSTRUCTED, BELOW OR ABOVE THE FINISH GRADE, THAT IS CONTAINED WITHIN THE TOWN RIGHT-OF-WAY. IT SHALL BE THE APPLICANT'S RESPONSIBILITY TO DETERMINE THE LOCATION OF THE RIGHT-OF-WAY LINE (PROPERTY LINE).
 6. EXISTING VEGETATION SHALL BE CLEARED AS REQUIRED TO ACHIEVE 200' SAFE SIGHT DISTANCE.

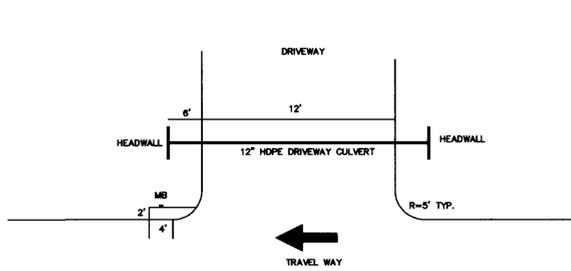


TYPICAL RURAL DRIVEWAY - CUT CROSS SECTION
NOT TO SCALE

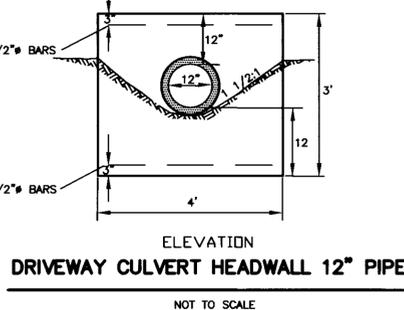
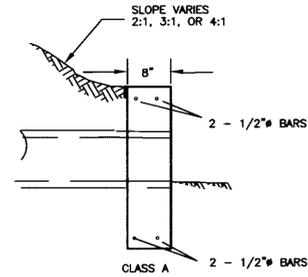


TYPICAL RURAL DRIVEWAY - FILL CROSS SECTION
NOT TO SCALE

TYPICAL RURAL DRIVEWAY DETAILS
NOT TO SCALE

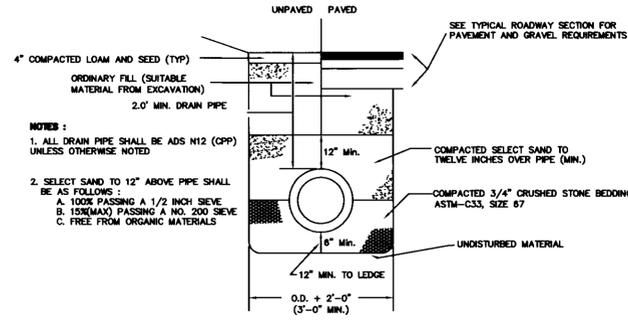


DRIVEWAY DETAIL
(NOT TO SCALE)



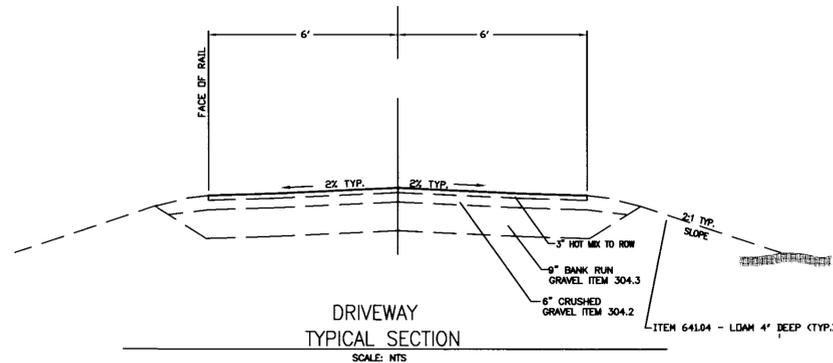
ELEVATION
DRIVEWAY CULVERT HEADWALL 12" PIPE
NOT TO SCALE

** NOTE: BACK FILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED TO TOWN COMPACTION STANDARDS OF 95% MODIFIED PROCTOR.



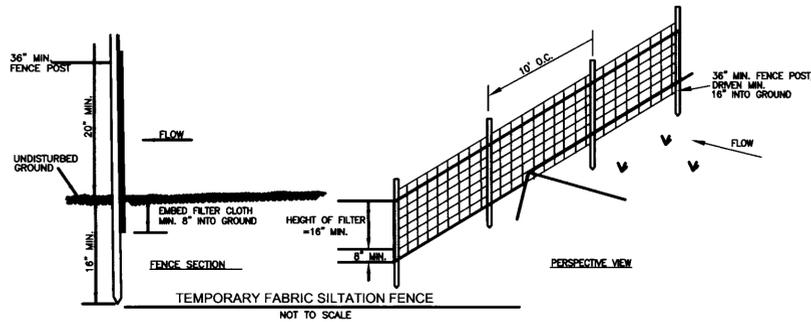
TYPICAL PIPE TRENCH
(NOT TO SCALE)

- NOTES:**
1. ALL DRAIN PIPE SHALL BE ADS N12 (CPP) UNLESS OTHERWISE NOTED
 2. SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS:
 - A. 100% PASSING A 1/2 INCH SIEVE
 - B. 100(MAX) PASSING A NO. 200 SIEVE
 - C. FREE FROM ORGANIC MATERIALS



DRIVEWAY
TYPICAL SECTION
SCALE: NTS

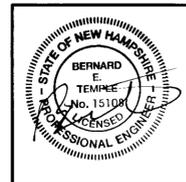
- NOTES:**
1. ALL DRIVEWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE CHESTER.
 2. PROVIDE 4" LOAM AND SEED (MIN.) ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.



- NOTES:**
- MAINTENANCE**
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- CONSTRUCTION SPECIFICATIONS**
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
 4. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

EROSION CONTROL NOTES

1. ALL SILTATION FENCE SHALL BE ERECTED BEFORE THE START OF EARTHWORK OPERATIONS. SILTATION FENCE SHALL BE REMOVED UPON ACCEPTANCE OF THE PROJECT.
2. THE INTENT OF THIS PROJECT IS TO CONTROL SEDIMENT DURING NEW CONSTRUCTION AND GRADING. ROADWAY EARTH CUTS AND ALL EXPOSED SURFACES SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF WORK.
3. IN ORDER TO PREVENT UNNECESSARY EROSION OF NEWLY GRADED ROAD SLOPES & UNNECESSARY SILTATION OF DRAINAGEWAYS, THE CONTRACTOR SHALL PERFORM LOAMING, HYDROSEEDING AND MULCHING AS SOON AS HE HAS SATISFACTORILY COMPLETED A UNIT OR PORTION OF THE PROJECT, SUCH AS EMBANKMENTS OR CUTS, A SECTION OF PAVEMENT OR DRAINAGEWAYS.
4. MULCHING, AND/OR TEMPORARY OR PERMANENT SEEDING IN ACCORDANCE WITH THE "STORMWATER MANAGEMENT AND EROSION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE" NHDES ET AL. AUG 1992, SHALL BE USED TO STABILIZE ALL DISTURBED AREAS. ALL AREAS AT FINAL GRADE WILL BE STABILIZED WITHIN 72 HOURS OF CONSTRUCTION.
5. SILT FENCE WITH HAY BALES SHALL BE SECURED WITH A MINIMUM OF TWO STAKES PER BALE AND PROVIDED AT ALL DRAINAGEWAYS AND PIPE OUTLETS AS INDICATED ON THE CONSTRUCTION DRAWINGS.
6. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" OF LOAM OR TOPSOIL AND HYDROSEED ALL DISTURBED UNPAVED SURFACES (AND SURFACES NOT DESIGNATED FOR GRAVEL OR MULCH) WITHIN THE LIMIT OF WORK.
7. THE CONTRACTOR SHALL MAINTAIN CRUSHED STONE CONSTRUCTION ENTRANCES (100' MIN.) AND SHALL CLEAN AND REMOVE ANY SAND, SOIL OR DEBRIS CARRIED ON TO TOWN ROAD(S) BY TRUCKS LEAVING THE SITE AT THE END OF EACH DAY.
8. THE CONTRACTOR SHALL INSPECT, CLEAN AND PROPERLY MAINTAIN (INCLUDING REPLACING AS NECESSARY) ALL EROSION CONTROL MEASURES DAILY DURING THE PROJECT.
9. NO DISTURBED AREA SHALL BE LEFT UNPROTECTED FROM EROSION FOR A PERIOD OF MORE THAN 30 DAYS. PROTECTION SHALL BE BY LOAMING, SEEDING, EROSION CONTROL MATTING OR OTHER ACCEPTABLE METHODS.
10. NO DISTURBED AREA SHALL BE LEFT UNPROTECTED FROM EROSION OVER THE WINTER SEASON. THE WINTER SEASON IS HEREBY DEFINED AS THE PERIOD FROM NOV. 1 TO APRIL 1. THIS SHALL NOT RESTRICT WORK FROM TAKING PLACE OVER THE WINTER MONTHS, BUT THE CONTRACTOR/OWNER SHALL NOT ALLOW AN AREA GREATER THAN 5000 S.F. TO BE LEFT UNPROTECTED.
11. SILT FENCE SHALL BE PROVIDED AROUND ALL TEMPORARY STOCKPILES OF MATERIAL.
12. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING THE CONSTRUCTION PHASE OF THE PROJECT. IN NO CASE SHALL THE DISTURBANCE EXCEED 3 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
13. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - A) BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - C) A MINIMUM OF 3" NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
14. ALL EROSION CONTROL MEASURES SHALL MEET, AT A MINIMUM, THE BEST MANAGEMENT PRACTICES SET FORTH IN THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE."



CONSTRUCTION DETAILS

TAX MAP 5 • LOT 111-101
SANDOWN (ROUTE 121A),
CROSS & OLD SANDOWN ROADS
CHESTER, NH

OWNER OF RECORD:

MICHAEL BABIN

241 SANDOWN ROAD, CHESTER, NH 03036

JUNE 29, 2016

SCALE: 1" = 50'

PREPARED BY

ERIC C. MITCHELL & ASSOC. INC.

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REV.	DATE	DESCRIPTION	BY
REVISIONS			