

NOTES

- THE PURPOSE OF THIS PLAN IS
A. TO SUBDIVIDE TAX MAP 9 LOT 46 INTO 4 SINGLE FAMILY HOUSE LOTS WITH 4 BEDROOMS OR LESS.
 - TOTAL PARCEL AREA = 24.06 ACRES
 - LOT 46 IS CURRENTLY VACANT. ALL LOTS WILL HAVE AN ON SITE SEPTIC AND WELL.
 - THIS SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP No. 33015C0355E, EFFECTIVE DATE: MAY 17, 2005.
 - NHDES SUBDIVISION APPROVAL No. **eSA2016071501**
 - THIS PLAN CONTAINS A TOTAL OF 8 SHEETS. SHEETS 1 - 3 ARE ON FILE AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. THE ENTIRE SET IS ON FILE AT THE TOWN OF CHESTER PLANNING DEPARTMENT, WHICH TOGETHER CONSTITUTE THE PLAN WHICH IS APPROVED BY THE CHESTER PLANNING BOARD.
 - PRESENT ZONING: R1 - RESIDENTIAL
MINIMUM LOT AREA = 2 ACRES
MINIMUM ROAD FRONTAGE = 290'

BUILDING/STRUCTURE SETBACKS
MINIMUM FRONT SETBACK = 40'
MINIMUM SIDE AND REAR SETBACK = 25'

SEPTIC SYSTEM SETBACKS
MINIMUM FRONT SETBACK = 40'
MINIMUM SIDE AND REAR SETBACK = 25'

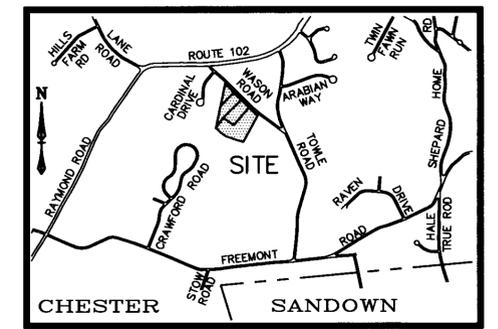
WELLS TO HAVE A 100' PROTECTIVE RADIUS
- | BUILDING SETBACKS | WETLANDS, PONDS & STREAMS | VERNAL POOLS |
|-----------------------|---------------------------|--------------|
| 75 FT | 75 FT | 100 FT |
| SEPTIC SYSTEM SETBACK | 75 FT | 100 FT |
| WELL | 25 FT | 25 FT |
| NO CLEAR BUFFER * | 25 FT | 50 FT |
- *WITHIN THE NO CLEAR BUFFER, CLEARING INCIDENTAL TO DRIVEWAY CONSTRUCTION IS ALLOWED AND NO MORE THAN 50 PERCENT OF THE BASAL AREA OF TREES AND VEGETATION CAN BE REMOVED ANNUALLY (PER ZONING ARTICLE 5, SECTION 7.2.7).
- THE CONTRACTOR/HOMEOWNER SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 331 MONTVALE AVE., WOBURN, MA. (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
 - ALL ABUTTERS TO THIS PROJECT ARE LOCATED WITHIN THE R1-RESIDENTIAL ZONE.
 - THE PROPOSED PERMANENT BOUNDARY MARKERS SHALL CONFORM TO ARTICLE 4.3.8 OF THE CHESTER SUBDIVISION REGULATIONS.
 - PER THE CONDITIONS OF APPROVAL, THE FOLLOWING DEED RESTRICTIONS SHALL BE REQUIRED:
 - THE PROHIBITION OF THE FILLING IN OR MODIFICATION OF ANY DRAINAGE SWALES WITHIN EASEMENT AREAS,
 - THE PROHIBITION OF THE INSTALLATION OF IN-GROUND, LAWN IRRIGATION SYSTEMS WITHIN TOWN RIGHT-OF-WAYS,
 - THE PROHIBITION OF THE LOAMING AND SEEDING OF ROADWAY SHOULDERS WITHIN THE TOWN RIGHT-OF-WAY,
 - THE REQUIREMENT OF PERPETUAL MAINTENANCE FOR FULL FUNCTIONALITY OF THE INFILTRATION PONDS REFERENCED IN THE PLANS AND DRAINAGE ANALYSIS TO MANAGE STORMWATER RUNOFF FLOWS FOR LOTS #009-046-000 THROUGH #009-046-103,
 - NO WETLANDS CROSSINGS TO ACCESS THE REAR PORTIONS OF LOTS #009-046-000 THROUGH #009-046-102 SHALL BE INSTALLED WITHOUT PROPER NHDES REVIEWS AND PERMITS. SAID REVIEWS AND PERMITS SHALL DEMONSTRATE THAT ANY CROSSING STRUCTURES (E.G. CULVERTS) ARE PROPERLY SIZED, AND ALSO AUGMENTED WITH STONE FORDS TO PROVIDE OVERFLOW CAPACITY IN THE EVENT THE CULVERT BECOMES PLUGGED. SAID CROSSING STRUCTURES MUST HAVE POST-INSTALLATION INSPECTIONS BY THE APPROPRIATE REPRESENTATIVES FROM NHDES, AND WRITTEN PROOF OF THEIR APPROVAL SHALL BE PROVIDED TO THE TOWN OF CHESTER'S BUILDING INSPECTOR,
 - AND NOTICE THAT LOT OWNER(S) MAY ALSO, AT THE BOARD'S DISCRETION, BE FINANCIALLY LIABLE TO REIMBURSE THE TOWN FOR ANY LEGAL AND RESTORATION COSTS INCURRED IN THE ENFORCEMENT OF THESE DEED RESTRICTIONS.

PLAN REFERENCES

- "A SURVEY AND PLAT OF A SUBDIVISION TO BE KNOWN AS LADEW ESTATES OWNED BY GAIL R. (LADEW) TROY SITUATED IN CHESTER, N.H., DECEMBER 15, 1980, SCALE: 1" = 50" PREPARED BY R.S.L. LAYOUT & DESIGN, INC., R.C.R.D. PLAN #D-9978.
- "A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR WILLIAM H. SMITH JR. IN CHESTER, N.H., MAR. 2, 1988 SCALE: 1" = 50" AMENDED APRIL 17, 1989 PREPARED BY R.S.L. LAYOUT & DESIGN, INC., R.C.R.D. PLAN #D-19401.
- "HOOG SUBDIVISION TAX MAP 9 LOT 45, 51 WASON ROAD, CHESTER, NEW HAMPSHIRE, SCALE: 1" 50", DATE: JULY 29, 2004" PREPARED BY FINDEISEN SURVEY & DESIGN, LLC, WINDHAM, NEW HAMPSHIRE, R.C.R.D. PLAN #D-32353.

LEGEND

- IRF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IP/P IRON PIPE / PIN
- UH UTILITY POLE
- OH OVER HEAD UTILITIES
- ESW EXISTING STONE WALL
- EP EDGE OF PAVEMENT
- WL LIMIT OF WETLANDS
- MBB MINIMUM BUILDING SETBACK (TYP)
- NCB NO CUT BUFFER (TYP)
- HN HOUSE NUMBER



VICINITY PLAN

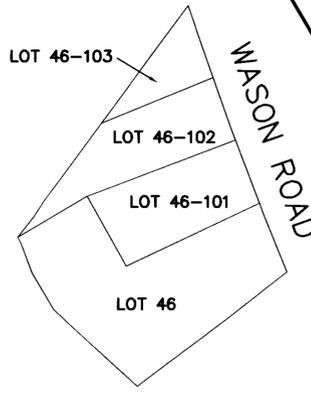
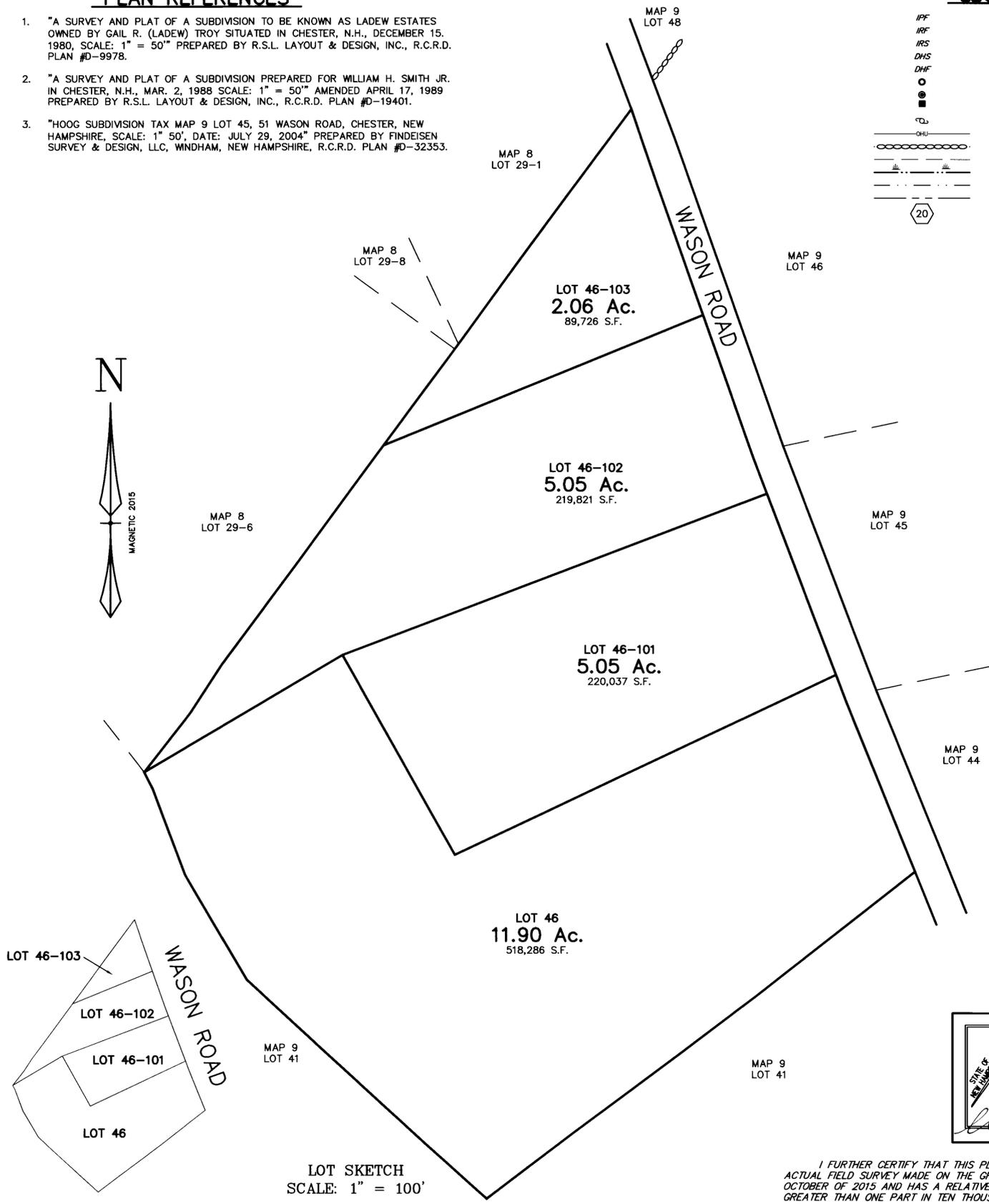
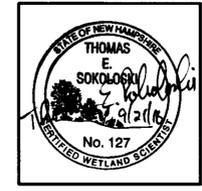
SCALE: 1" = 2,500'

SHEET INDEX

- SHEETS 1 - 3 SUBDIVISION PLAN OF LAND
- SHEETS 4 - 5 NHDES SUBDIVISION PLAN
- SHEETS 6 - 7 DRIVEWAY PLAN & PROFILE
- SHEET 8 CONSTRUCTION DETAILS

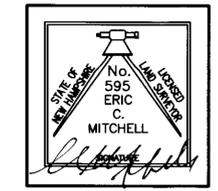
WETLAND NOTES:

- TOM SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TESS ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING IN SEPTEMBER, 2015 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



LOT SKETCH
SCALE: 1" = 400'

LOT SKETCH
SCALE: 1" = 100'



I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND DURING MAY THROUGH OCTOBER OF 2015 AND HAS A RELATIVE ERROR OF CLOSURE NO GREATER THAN ONE PART IN TEN THOUSAND.

Eric C. Mitchell
ERIC C. MITCHELL L.L.S. NO. 595

6/17/16
DATE

PRESENT OWNER OF RECORD:
LOT 47, TAX MAP 9
RCRD VOL 5632, PG 787

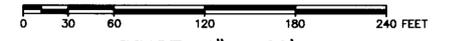
JMJ PROPERTIES, LLC
130A ROCKINGHAM ROAD
LONDONDERRY, NH 03053

Jan Bogdan
AUTHORIZED SIGNATURE

APPROVED BY THE CHESTER, NH
PLANNING BOARD ON: _____
CERTIFIED BY: _____
CHAIRMAN: _____
SECRETARY: _____

SUBDIVISION PLAN OF LAND
TAX MAP 9 • LOT 46
WASON ROAD
CHESTER, NH

OWNER OF RECORD:
JMJ PROPERTIES, LLC
130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053
JUNE 17, 2016

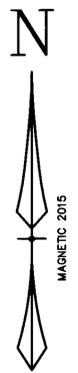


SCALE: 1" = 60'

PREPARED BY
ERIC C. MITCHELL & ASSOC. INC.
PLANNING - SURVEYING - ENVIRONMENTAL
P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298
PH. (603) 627-1181

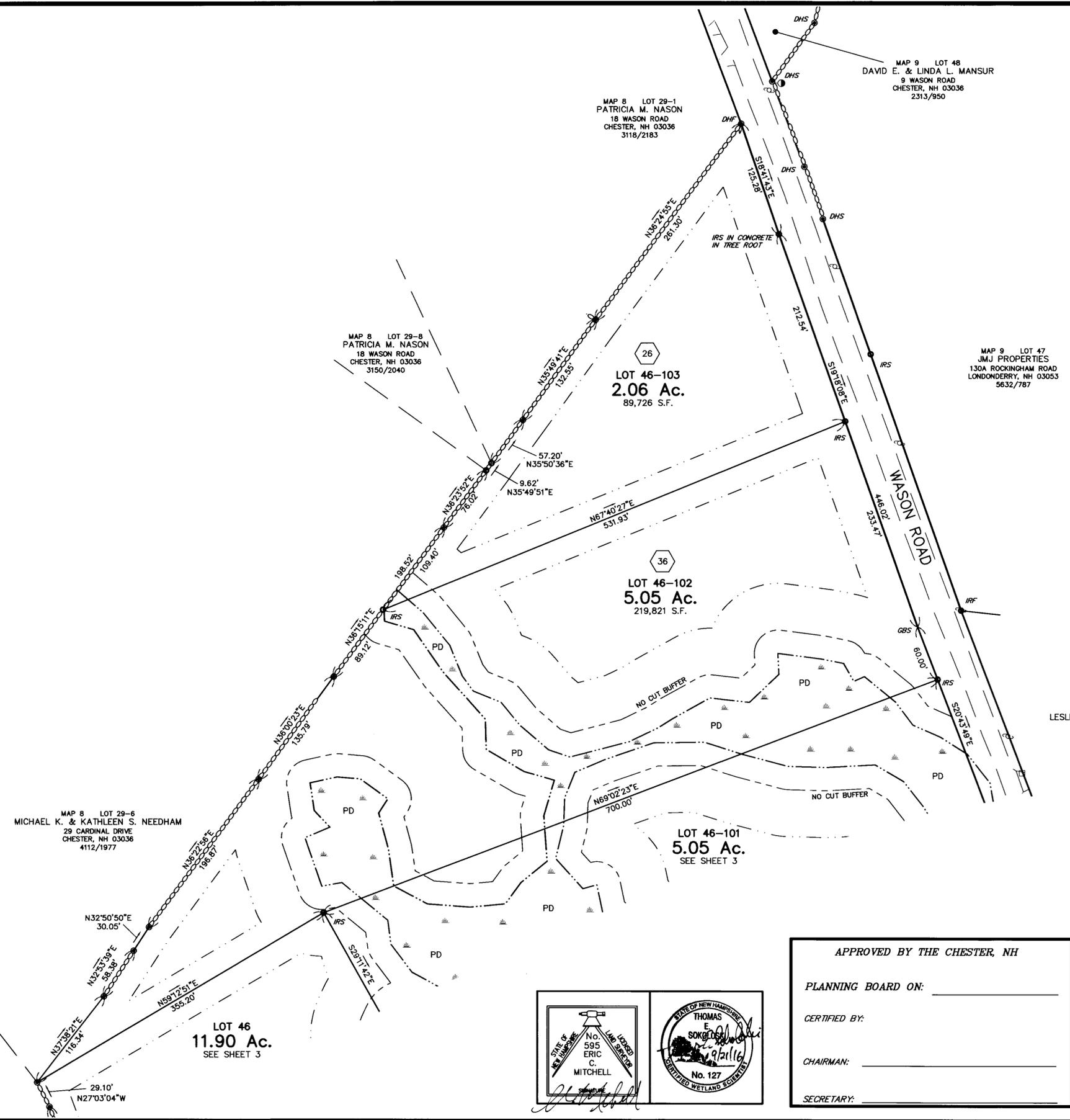
REV.	DATE	DESCRIPTION	BY
C	9/16/15	CONDITIONS OF APPROVAL	C.J.H.
B	8/16/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	C.J.H.
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	C.J.H.
REV.	DATE	DESCRIPTION	BY

REVISIONS

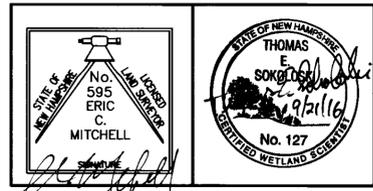


LEGEND

- IRF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IRON PIPE / PIN
- DRILL HOLE
- GRANITE BOUND SET
- UTILITY POLE
- OHU OVER HEAD UTILITIES
- EXISTING STONE WALL
- EDGE OF PAVEMENT
- LIMIT OF WETLANDS
- MINIMUM BUILDING SETBACK (TYP)
- NO CUT BUFFER (TYP)
- 20 HOUSE NUMBER



REV.	DATE	DESCRIPTION	BY
C	9/19/16	CONDITIONS OF APPROVAL	C.H.
A	8/01/16	ADDRESS D & K COMMENTS, ADD HOUSE NUMBERS	C.H.
REVISIONS			



APPROVED BY THE CHESTER, NH

PLANNING BOARD ON: _____

CERTIFIED BY: _____

CHAIRMAN: _____

SECRETARY: _____

NOTES

SEE SHEET 1 FOR NOTES, PLAN REFERENCES AND VICINITY PLAN

SUBDIVISION PLAN OF LAND

TAX MAP 9 • LOT 46

WASON ROAD

CHESTER, NH

OWNER OF RECORD:

JMJ PROPERTIES, LLC

130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053

JUNE 17, 2016

SCALE: 1" = 60'

PREPARED BY:

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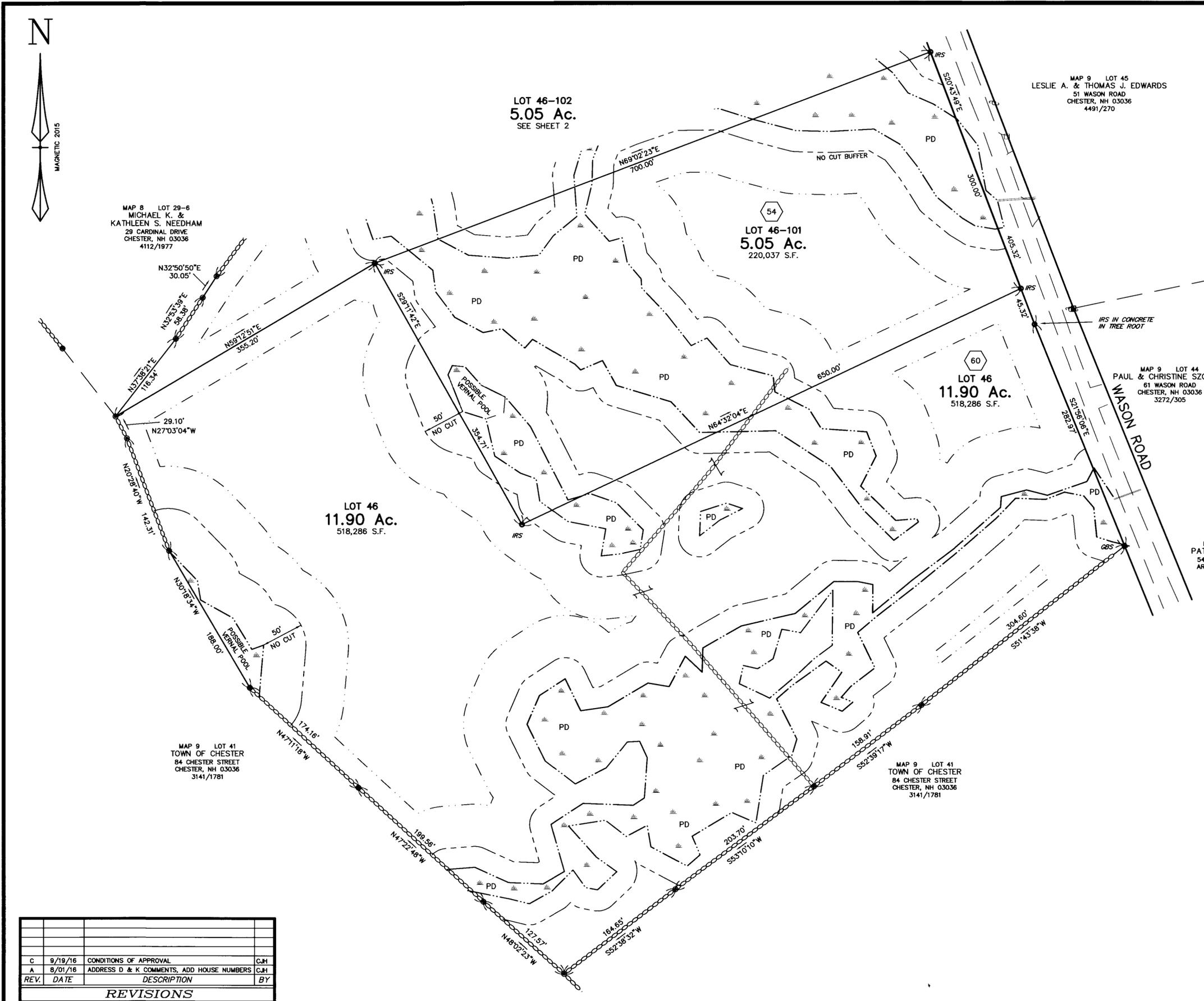
PH. (603) 627-1181

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LEGEND

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- NO CUT BUFFER (TYP)
- HOUSE NUMBER



MAP 8 LOT 29-6
MICHAEL K. &
KATHLEEN S. NEEDHAM
29 CARDINAL DRIVE
CHESTER, NH 03036
4112/1977

MAP 9 LOT 45
LESLIE A. & THOMAS J. EDWARDS
51 WASON ROAD
CHESTER, NH 03036
4491/270

MAP 9 LOT 44
PAUL & CHRISTINE SZOSTAK
61 WASON ROAD
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3141/1781

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NOTES

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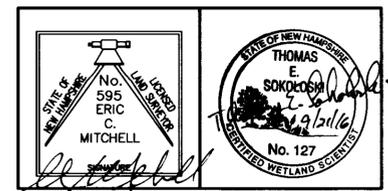
APPROVED BY THE CHESTER, NH

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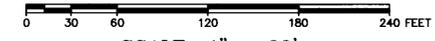
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TAX MAP 9 • LOT 46
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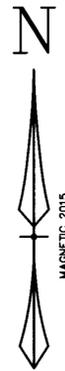
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SCALE: 1" = 60'

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REVISIONS			



TOWN LOT SIZE BREAKDOWN

LOT	LOT 46	LOT 46-101	LOT 46-102	LOT 46-103
UPLAND < 15% (PER NHDES)	284,386	152,387	166,541	89,526
SLOPES >15% (PER NHDES)	158,000	0	23,200	0
POORLY DRAINED SOILS	75,900	67,650	30,080	200
VERY POORLY DRAINED SOILS	0	0	0	0
TOTAL AREA (S.F.) =	518,286	220,037	219,821	89,726

TOWN LOT SIZE CALCULATIONS

	LOT 46	LOT 46-101	LOT 46-102	LOT 46-103
GROSS AREA	518,286	220,037	219,821	89,726
SLOPES >15% (PER NHDES)	-158,000	0	-23,200	0
PD AREA > 20% OF 2 Ac.	-58,476	- 50,226	-16,656	0
VERY POORLY DRAINED SOILS	0	0	0	0
TOTAL NET AREA (S.F.) = (87,120 S.F. MIN REQ.)	301,810 OK	169,811 OK	179,965 OK	89,726 OK
CONTIGUOUS AREA OF NON WETLAND/SLOPES < 15% (PER TOWN) (1 Ac. MIN)	87,447 S.F.	108,200 S.F.±	103,700 S.F.	146,700 S.F.

STATE LOT SIZE CALCULATIONS

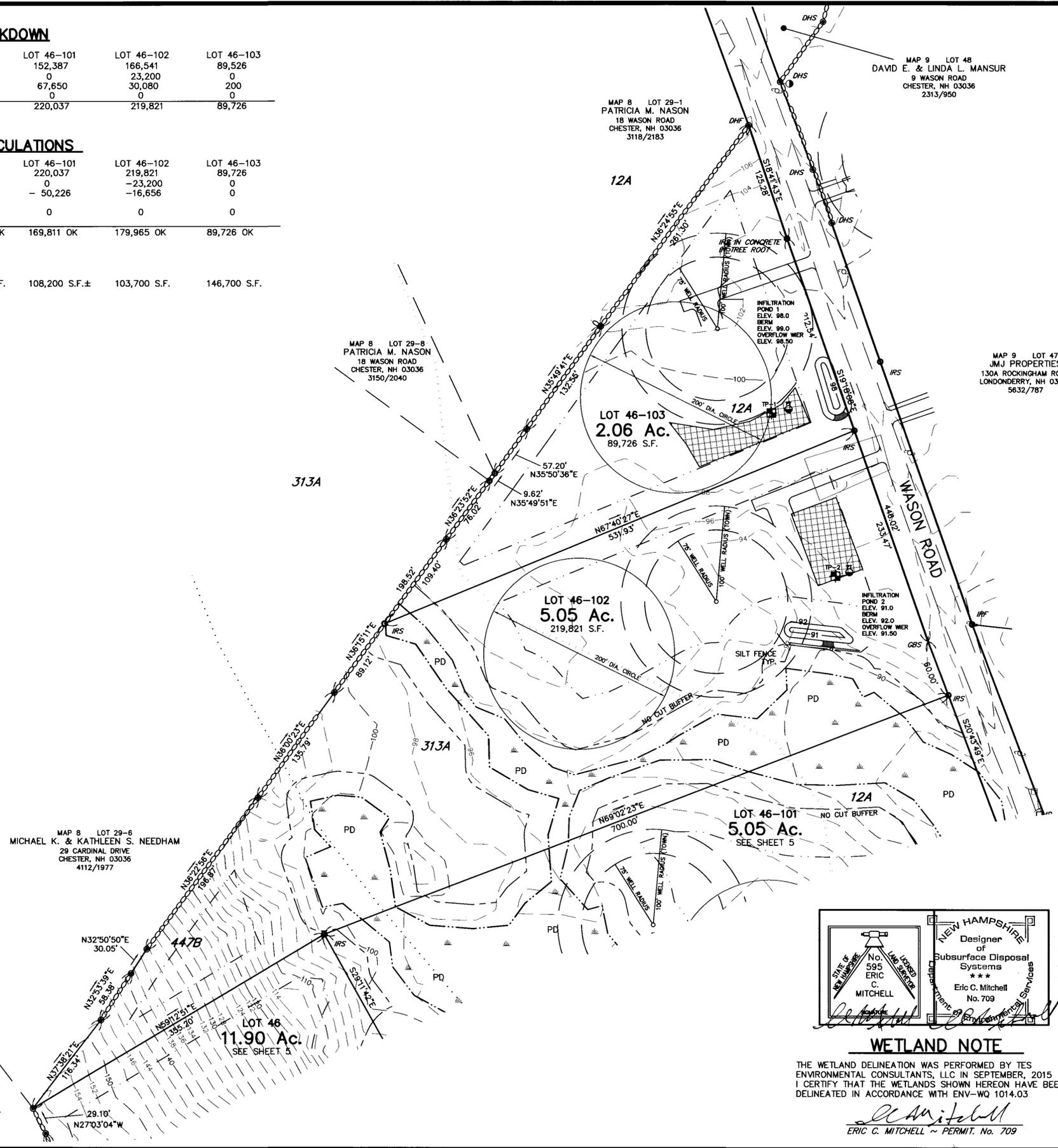
THE PREDOMINANT SOIL TYPE ON THE PROPOSED LOTS IS 12A & 313A. AS PER ENV-WS 1005.02 WITH A GROUP 3 SOIL AND A SLOPES (WORST CASE SCENARIO) THE MINIMUM LOT SIZE REQUIRED IS 48,000 S.F. ALL THE LOTS SHOWN HEREON EXCEED THE MINIMUM LOT SIZE REQUIREMENT.

SOIL LEGEND

- 12A - HINCKLEY FINE SANDY LOAM
0-3% SLOPES
 - 313A - DEERFIELD FINE SANDY LOAM
0-3% SLOPES
 - 115 - SCARBORO MUCK
 - 314A - PIPESTONE SAND
 - 447B - SCITUATE-NEWFIELDS COMPLEX
3-8% SLOPES, VERY STONY
- SOILS INFORMATION TAKEN FROM "GRANIT DATABASE"

LEGEND

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- HOUSE NUMBER
- PERC PERC TEST
- TP-6 TEST PIT
- 4000 4000 S.F. AREA SUITABLE FOR SEPTIC
- PD POORLY DRAINED SOILS



REV.	DATE	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJH
A	8/01/16	DESCRIPTION	BY

REVISIONS

NEW HAMPSHIRE
DESIGNER OF
Subsurface Disposal
Systems

Eric C. Mitchell
No. 709

THE STATE OF NEW HAMPSHIRE
ERIC C. MITCHELL
No. 595
ERIC C. MITCHELL

WETLAND NOTE

THE WETLAND DELINEATION WAS PERFORMED BY TES ENVIRONMENTAL CONSULTANTS, LLC IN SEPTEMBER, 2015 I CERTIFY THAT THE WETLANDS SHOWN HEREON HAVE BEEN DELINEATED IN ACCORDANCE WITH ENV-WQ 1014.03

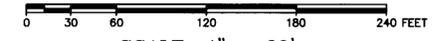
Eric C. Mitchell
ERIC C. MITCHELL ~ PERMIT. No. 709

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TAX MAP 9 • LOT 46
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CHESTER, NH**

OWNER OF RECORD:
JMJ PROPERTIES, LLC
130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053
JUNE 17, 2016



SCALE: 1" = 60'

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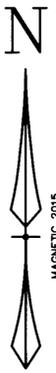
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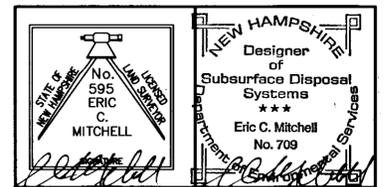
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4491/270

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CHESTER, NH 03036
3272/305

MAP 9 LOT 43
PATRICIA CHAUDHURI
54 MARGARET STREET
ARLINGTON, MA 02474
3980/40

MAP 9 LOT 41
TOWN OF CHESTER
84 CHESTER STREET
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3141/1781

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NHDES SUBDIVISION PLAN OF LAND

**TAX MAP 9 • LOT 46
WASON ROAD
CHESTER, NH**

OWNER OF RECORD:

JMJ PROPERTIES, LLC
130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053
JUNE 17, 2016

SCALE: 1" = 60'

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WETLAND NOTE

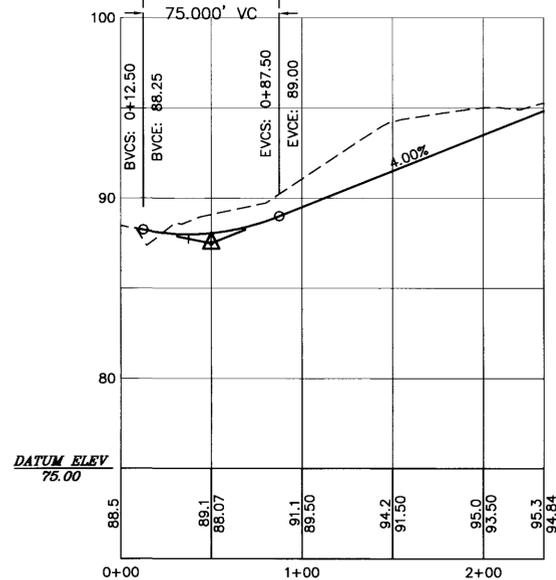
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Eric C. Mitchell
ERIC C. MITCHELL ~ PERMIT. No. 709

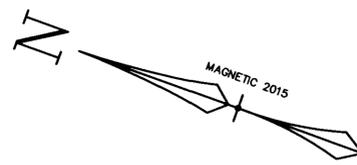
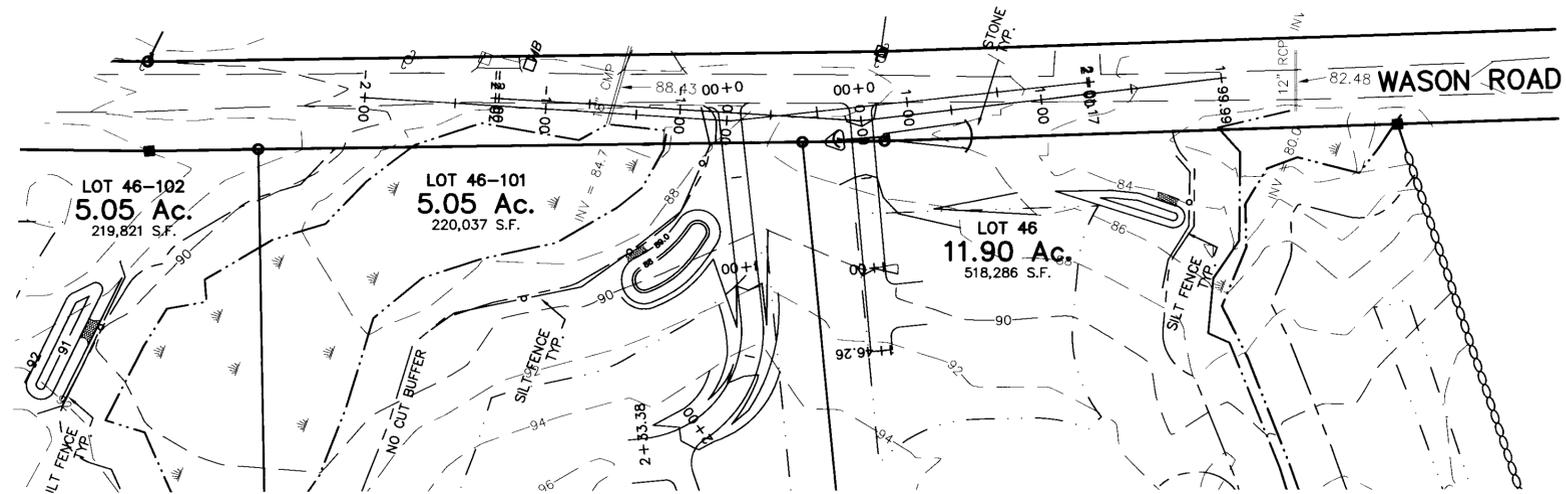
REV.	DATE	DESCRIPTION	BY
C	9/19/16	CONDITIONS OF APPROVAL	CJM
B	8/16/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM

REVISIONS

LOW POINT ELEV = 88.00
 LOW POINT STA = 0+37.50
 PVI STA = 0+50
 PVI ELEV = 87.50
 A.D. = 6.00
 K = 12.50



PROPOSED DRIVE
 LOT 46-101



I HEREBY CERTIFY THAT ANY ADDITIONAL STORM WATER RUNOFF INCIDENTAL TO THE DEVELOPMENT OF THIS SITE SHALL HAVE NO ADVERSE EFFECTS ON ANY OPEN OR CLOSED, PUBLIC OR PRIVATE, DOWNSTREAM DRAINAGE FACILITIES.

Bernie Temple 9/19/16
 BERNIE TEMPLE, PE # 15108 DATE

I ALSO HEREBY CERTIFY THAT ADEQUATE ALL SEASON SAFE SIGHT DISTANCE IN ACCORDANCE WITH ARTICLE 4.12.9.5 OF THE TOWN OF CHESTER SUBDIVISION REGULATIONS CAN BE ACHIEVED AT THE PROPOSED DRIVEWAY LOCATIONS.

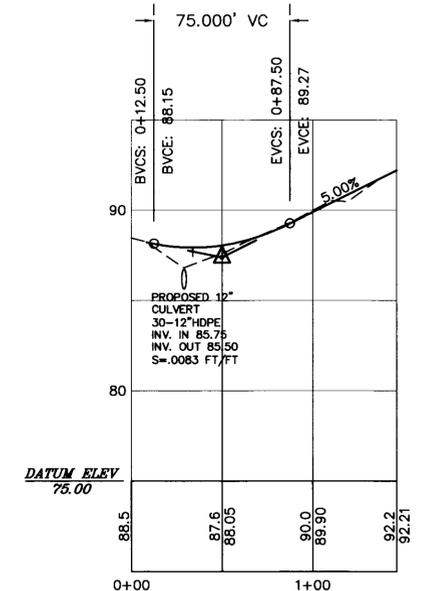
Bernie Temple 9/19/16
 BERNIE TEMPLE, PE # 15108 DATE

NOTE: ALL PROPOSED DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH ARTICLE 4.12.9 OF THE CHESTER SUBDIVISION REGULATIONS.

LEGEND

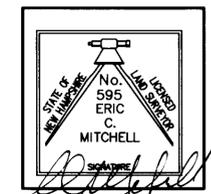
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IP PIN IRON PIPE / PIN
- DH DRILL HOLE
- GBS GRANITE BOUND SET
- UP UTILITY POLE
- OHU OVER HEAD UTILITIES
- ESW EXISTING STONE WALL
- EP EDGE OF PAVEMENT
- LW LIMIT OF WETLANDS
- MBS MINIMUM BUILDING SETBACK (TYP)
- NCB NO CUT BUFFER (TYP)

LOW POINT ELEV = 87.93
 LOW POINT STA = 0+33.93
 PVI STA = 0+50
 PVI ELEV = 87.40
 A.D. = 7.00
 K = 10.71



PROPOSED DRIVE
 LOT 46

NOTE: THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND THE SIGHT LINES TO ACHIEVE VISIBILITY.



REV.	DATE	DESCRIPTION	BY
C	9/19/16	CONDITIONS OF APPROVAL	CJM
B	8/16/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM

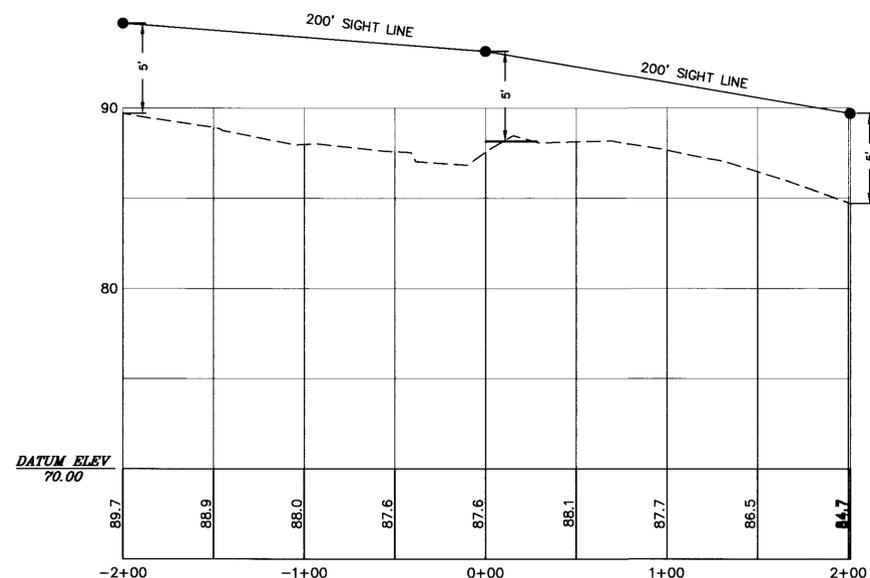
DRIVEWAY SIGHT DISTANCE PLAN & PROFILE
 TAX MAP 9 • LOT 46
 WASON ROAD
 CHESTER, NH

OWNER OF RECORD:
JMJ PROPERTIES, LLC
 130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053
 JUNE 17, 2016

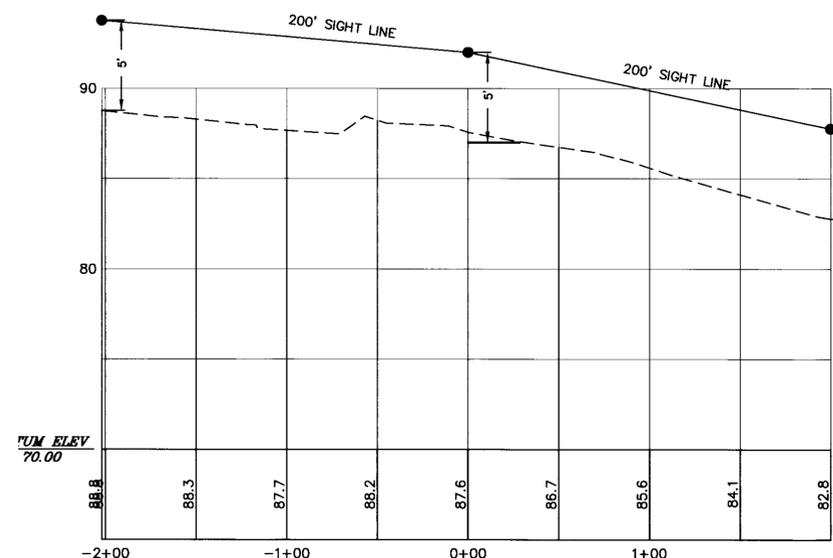
SCALE: 1" = 50'

PREPARED BY
ERIC C. MITCHELL & ASSOC. INC.
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 P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298
 PH. (603) 627-1181

HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE 1" = 5'



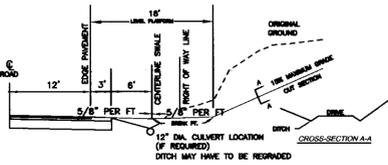
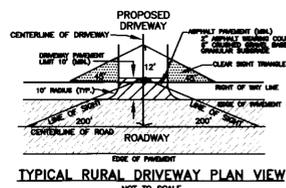
WASON ROAD
 PROPOSED DRIVE MAP 9 LOT 46-101
 SIGHTLINE 10' OFFSET FROM GRAVEL EDGE



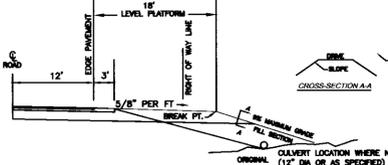
WASON ROAD
 PROPOSED DRIVE MAP 9 LOT 46
 SIGHTLINE 10' OFFSET FROM GRAVEL EDGE

EROSION CONTROL NOTES

1. ALL SILTATION FENCE SHALL BE ERECTED BEFORE THE START OF EARTHWORK OPERATIONS. SILTATION FENCE SHALL BE REMOVED UPON ACCEPTANCE OF THE PROJECT.
2. THE INTENT OF THIS PROJECT IS TO CONTROL SEDIMENT DURING NEW CONSTRUCTION AND GRADING. ROADWAY EARTH CUTS AND ALL EXPOSED SURFACES SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF WORK.
3. IN ORDER TO PREVENT UNNECESSARY EROSION OF NEWLY GRADED ROAD SLOPES & UNNECESSARY SILTATION OF DRAINAGEWAYS, THE CONTRACTOR SHALL PERFORM LOAMING, HYDROSEEDING AND MULCHING AS SOON AS HE HAS SATISFACTORILY COMPLETED A UNIT OR PORTION OF THE PROJECT, SUCH AS EMBANKMENTS OR CUTS, A SECTION OF PAVEMENT OR DRAINAGEWAYS.
4. MULCHING, AND/OR TEMPORARY OR PERMANENT SEEDING IN ACCORDANCE WITH THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE" NIDES ET AL. AUG 1992, SHALL BE USED TO STABILIZE ALL DISTURBED AREAS. ALL AREAS AT FINAL GRADE WILL BE STABILIZED WITHIN 72 HOURS OF CONSTRUCTION.
5. SILT FENCE WITH HAY BALES SHALL BE SECURED WITH A MINIMUM OF TWO STAKES PER BALE AND PROVIDED AT ALL DRAINAGEWAYS AND PIPE OUTLETS AS INDICATED ON THE CONSTRUCTION DRAWINGS.
6. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" OF LOAM OR TOPSOIL AND HYDROSEED ALL DISTURBED UNPAVED SURFACES (AND SURFACES NOT DESIGNATED FOR GRAVEL OR MULCH) WITHIN THE LIMIT OF WORK.
7. THE CONTRACTOR SHALL MAINTAIN CRUSHED STONE CONSTRUCTION ENTRANCES (100' MIN.) AND SHALL CLEAN AND REMOVE ANY SAND, SOIL OR DEBRIS CARRIED ON TO TOWN ROAD(S) BY TRUCKS LEAVING THE SITE AT THE END OF EACH DAY.
8. THE CONTRACTOR SHALL INSPECT, CLEAN AND PROPERLY MAINTAIN (INCLUDING REPLACING AS NECESSARY) ALL EROSION CONTROL MEASURES DAILY DURING THE PROJECT.
9. NO DISTURBED AREA SHALL BE LEFT UNPROTECTED FROM EROSION FOR A PERIOD OF MORE THAN 30 DAYS. PROTECTION SHALL BE BY LOAMING, SEEDING, EROSION CONTROL MATTING OR OTHER ACCEPTABLE METHODS.
10. NO DISTURBED AREA SHALL BE LEFT UNPROTECTED FROM EROSION OVER THE WINTER SEASON. THE WINTER SEASON IS HEREBY DEFINED AS THE PERIOD FROM NOV. 1 TO APRIL 1. THIS SHALL NOT RESTRICT WORK FROM TAKING PLACE OVER THE WINTER MONTHS, BUT THE CONTRACTOR/OWNER SHALL NOT ALLOW AN AREA GREATER THAN 5000 S.F. TO BE LEFT UNPROTECTED.
11. SILT FENCE SHALL BE PROVIDED AROUND ALL TEMPORARY STOCKPILES OF MATERIAL.
12. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING THE CONSTRUCTION PHASE OF THE PROJECT. IN NO CASE SHALL THE DISTURBANCE EXCEED 3 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
13. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - A) BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - C) A MINIMUM OF 3" NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED OR
 - D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
14. ALL EROSION CONTROL MEASURES SHALL MEET, AT A MINIMUM, THE BEST MANAGEMENT PRACTICES SET FORTH IN THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPMENT AREAS IN NEW HAMPSHIRE."

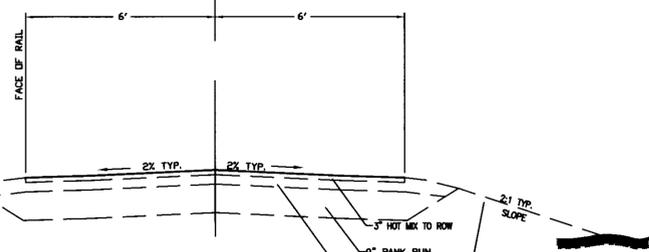


TYPICAL RURAL DRIVEWAY - CUT CROSS SECTION NOT TO SCALE



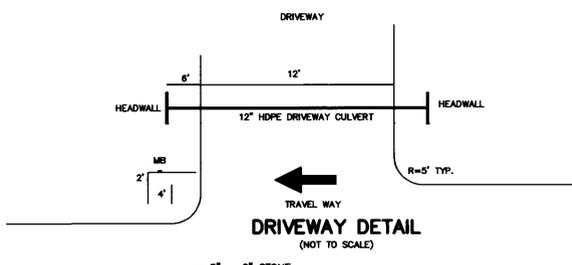
TYPICAL RURAL DRIVEWAY - FILL CROSS SECTION NOT TO SCALE

TYPICAL RURAL DRIVEWAY DETAILS
NOT TO SCALE

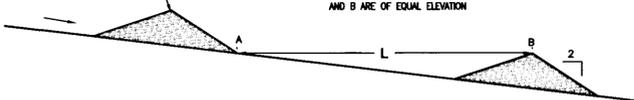


DRIVEWAY TYPICAL SECTION SCALE: NTS

- NOTES:**
1. ALL DRIVEWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE CHESTER.
 2. PROVIDE 4" LOAM AND SEED (MIN.) ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.



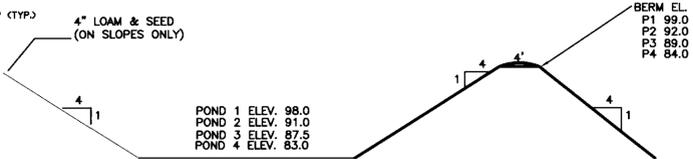
DRIVEWAY DETAIL (NOT TO SCALE)



STANDARD STONE CHECK DAM DESIGN	
SLOPE	SPACING
2% OR LESS	100'
2.1% TO 4%	50'
4.1% TO 8%	33'
6.1% TO 8%	25'
OVER 8%	USE LINED WATERWAY DESIGN

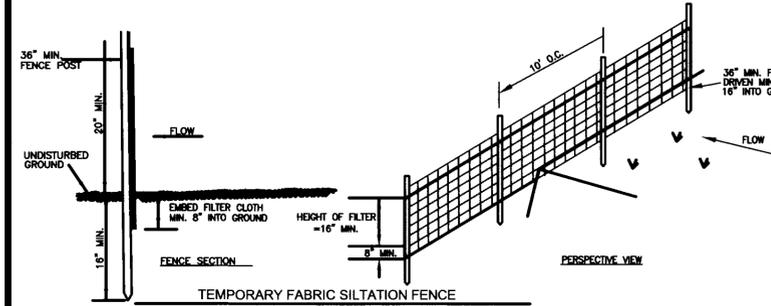
- SPECIFICATIONS**
1. CHECK DAMS SHALL BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 2. THE MAXIMUM HEIGHT OF THE DAM SHALL BE 2 FEET.
 3. THE CENTER OF THE DAM SHALL BE AT LEAST 6 INCHES LOWER THAN THE OUTER EDGES.
 4. THE MAXIMUM SPACING BETWEEN THE DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE OVERFLOW ELEVATION OF THE DOWNSTREAM DAM.
 5. STONE CHECK DAMS SHALL BE CONSTRUCTED OF A WELL-GRADED ANGULAR 2-INCH TO 3-INCH STONE. 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
 6. IF PROVIDED BY DESIGN AND CONSTRUCTION PLANS, LEAVE THE DAM IN PLACE PERMANENTLY.
 - IN TEMPORARY STRUCTURES, CHECK DAMS SHALL BE REMOVED AND THE DITCH FILLED IN WHEN IT IS NO LONGER NEEDED.
 - IN PERMANENT STRUCTURES, CHECK DAMS SHALL BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. IF THE PERMANENT LINING IS VEGETATION, THEN THE CHECK DAM SHALL BE RETAINED UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER REMOVAL.

TEMPORARY STONE CHECK DAMS
NOT TO SCALE



INFILTRATION POND MAXIMUM DEPTH 1 FOOT NOT TO SCALE

- SPECIFICATIONS**
1. PONDS SHALL BE CONSTRUCTED IN THE INITIAL STAGES OF CONSTRUCTION.
 2. POND PREPARATION - THE AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOIL, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOIL SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED SLOPES AND SPILLWAYS. FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IS SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.
 - FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
 3. FILL PLACEMENT - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.
 - SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.
 4. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.
 - THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MOST IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
 5. MOISTURE CONTROL - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
 6. COMPACTION - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.
 7. PROTECTION - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OR PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION. SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.



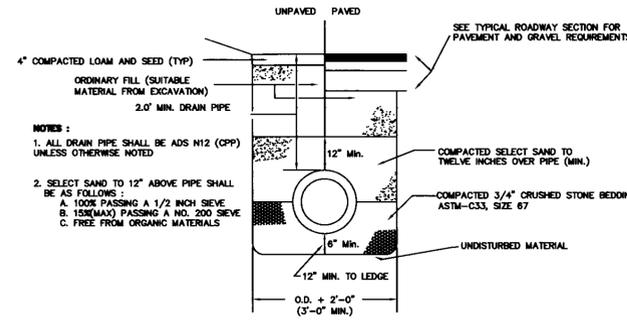
TEMPORARY FABRIC SILTATION FENCE NOT TO SCALE

- NOTES:**
- MAINTENANCE**
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

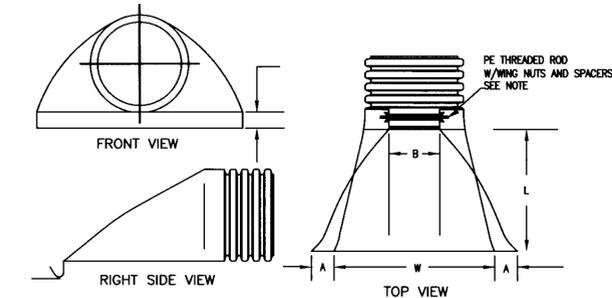
CONSTRUCTION SPECIFICATIONS

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 6 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
4. FENCE POSTS SHALL BE A MINIMUM OF 30 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

** NOTE: BACK FILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED TO TOWN COMPACTION STANDARDS OF 75% MODIFIED PROCTOR.



TYPICAL PIPE TRENCH (NOT TO SCALE)

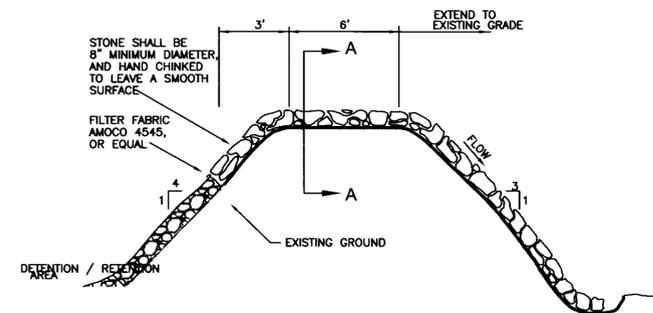


NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

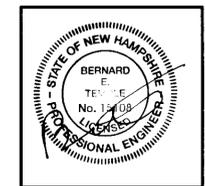
PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN	29.00 IN
1510NP	15 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN	29.00 IN
1810NP	18 IN	7.50 IN	15.00 IN	6.50 IN	32.00 IN	35.00 IN
2410NP	24 IN	7.50 IN	18.00 IN	6.50 IN	38.00 IN	45.00 IN
3015NP	30 IN	7.50 IN	12.00 IN	8.60 IN	58.00 IN	63.00 IN
3615NP	36 IN	7.50 IN	25.00 IN	8.60 IN	58.00 IN	63.00 IN



ADVANCED DRAINAGE SYSTEMS, INC.
HDPE FLARED END SECTION



SECTION A-A NOT TO SCALE
DETENTION BASIN OVERFLOW WIER



REV.	DATE	DESCRIPTION	BY
B	8/16/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJH

REVISIONS

CONSTRUCTION DETAILS

TAX MAP 9 • LOT 46
WASON ROAD
CHESTER, NH

OWNER OF RECORD:

JMJ PROPERTIES, LLC
130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053
JUNE 17, 2016

SCALE: 1" = NO SCALE

PREPARED BY

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