

**NOTES**

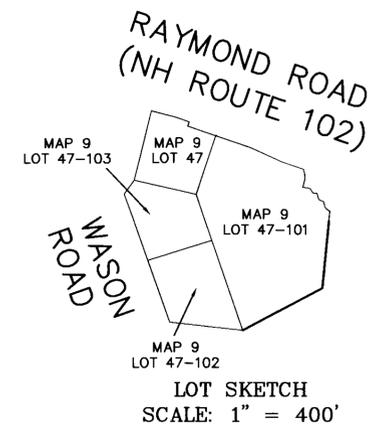
- THE PURPOSE OF THIS PLAN IS  
A. TO SUBDIVIDE TAX MAP 9 LOT 47 INTO 4 SINGLE FAMILY HOUSE LOTS WITH 4 BEDROOMS OR LESS.
- TOTAL PARCEL AREA = 13.81 ACRES±
- LOT 47 HAS AN EXISTING HOUSE (TO BE RAZED) AND IS SERVICED BY AN ON SITE SEPTIC AND WELL. A NEW SEPTIC SYSTEM SHALL BE INSTALLED FOR LOT 47. ALL LOTS WILL HAVE AN ON SITE SEPTIC AND WELL.
- THIS SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP No. 33015C0355E, EFFECTIVE DATE: MAY 17, 2005.
- NHDES SUBDIVISION APPROVAL No. **eSA2016071502**  
NHDOT DRIVEWAY PERMIT No. **05-085-002J**
- THIS PLAN CONTAINS A TOTAL OF 7 SHEETS. SHEETS 1 - 2 ARE ON FILE AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. THE ENTIRE SET IS ON FILE AT THE TOWN OF CHESTER PLANNING DEPARTMENT, WHICH TOGETHER CONSTITUTE THE PLAN WHICH IS APPROVED BY THE CHESTER PLANNING BOARD.
- PRESENT ZONING: R1 - RESIDENTIAL  
MINIMUM LOT AREA = 2 ACRES  
MINIMUM ROAD FRONTAGE = 290'  
  
BUILDING/STRUCTURE SETBACKS  
MINIMUM FRONT SETBACK = 40'  
MINIMUM SIDE AND REAR SETBACK = 25'  
  
SEPTIC SYSTEM SETBACKS  
MINIMUM FRONT SETBACK = 40'  
MINIMUM SIDE AND REAR SETBACK = 25'  
  
WELLS TO HAVE A 100' PROTECTIVE RADIUS  
  

	WETLANDS, PONDS & STREAMS	VERNAL POOLS
BUILDING SETBACKS	75 FT	100 FT
SEPTIC SYSTEM SETBACK	75 FT	100 FT
WELL	25 FT	25 FT
NO CLEAR BUFFER *	25 FT	50 FT

\*WITHIN THE NO CLEAR BUFFER, CLEARING INCIDENTAL TO DRIVEWAY CONSTRUCTION IS ALLOWED AND NO MORE THAN 50 PERCENT OF THE BASAL AREA OF TREES AND VEGETATION CAN BE REMOVED ANNUALLY (PER ZONING ARTICLE 5, SECTION 7.2.7).
- THE CONTRACTOR/HOMEOWNER SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 331 MONTVALE AVE., WOBURN, MA. (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
- ALL ABUTTERS TO THIS PROJECT ARE LOCATED WITHIN THE R1-RESIDENTIAL ZONE.
- THOSE PROPOSED DRIVEWAY ON NH RT. 102 SHALL BE IN ACCORDANCE WITH THE APPROVAL OF NHDOT.
- THE PROPOSED PERMANENT BOUNDARY MARKERS SHALL CONFORM TO ARTICLE 4.3.8 OF THE CHESTER SUBDIVISION REGULATIONS.
- PER THE CONDITIONS OF APPROVAL, THE FOLLOWING DEED RESTRICTIONS SHALL BE REQUIRED:
  - THE PROHIBITION OF THE FILLING IN OR MODIFICATION OF ANY DRAINAGE SWALES WITHIN EASEMENT AREAS,
  - THE PROHIBITION OF THE INSTALLATION OF IN-GROUND, LAWN IRRIGATION SYSTEMS WITHIN TOWN RIGHT-OF-WAYS,
  - THE PROHIBITION OF THE LOAMING AND SEEDING OF ROADWAY SHOULDERS WITHIN THE TOWN RIGHT-OF-WAY,
  - THE REQUIREMENT OF PERPETUAL MAINTENANCE FOR FULL FUNCTIONALITY OF THE INFILTRATION PONDS REFERENCED IN THE PLANS AND DRAINAGE ANALYSIS TO MANAGE STORMWATER RUNOFF FLOWS FOR LOTS #009-047-101,
  - AND NOTICE THAT LOT OWNER(S) MAY ALSO, AT THE BOARD'S DISCRETION, BE FINANCIALLY LIABLE TO REIMBURSE THE TOWN FOR ANY LEGAL AND RESTORATION COSTS INCURRED IN THE ENFORCEMENT OF THESE DEED RESTRICTIONS.

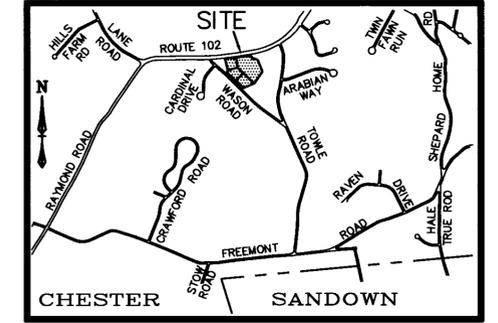
**PLAN REFERENCES**

- "CORRECTIVE PLOT PLAN FOR TAX LOT #9-55 TOWLE, ROAD, CHESTER, N.H. OWNER: WALTER TUCKER SCALE: 1" = 50' DATE: 18 FEBRUARY 1991" PREPARED BY BRYAN L. BAILEY ASSOC. INC. GILMANTON I.W., N.H. R.C.R.D. PLAN #D-20983.
- "HOOG SUBDIVISION TAX MAP 9 LOT 45, 51 WASON ROAD, CHESTER, NEW HAMPSHIRE, SCALE: 1" 50', DATE: JULY 29, 2004" PREPARED BY FINDEISEN SURVEY & DESIGN, LLC, WINDHAM, NEW HAMPSHIRE, R.C.R.D. PLAN #D-32353.
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT S 29(7) N.H. PROJECT NO. P-1428 DERRY-RAYMOND ROAD. DATED JULY 26, 1971, SHEETS 9 & 10 OF 91.
- "CERTIFIED PLOT PLAN, TAX MAP 9 LOT 50, 622 RAYMOND ROAD, CHESTER, NH PREPARED FOR DAVID WEBSTER SCALE: 1" = 20' DATE: DECEMBER 15, 2015" PREPARED BY JPS & ASSOCIATES, RAYMOND, NEW HAMPSHIRE. NOT RECORDED.



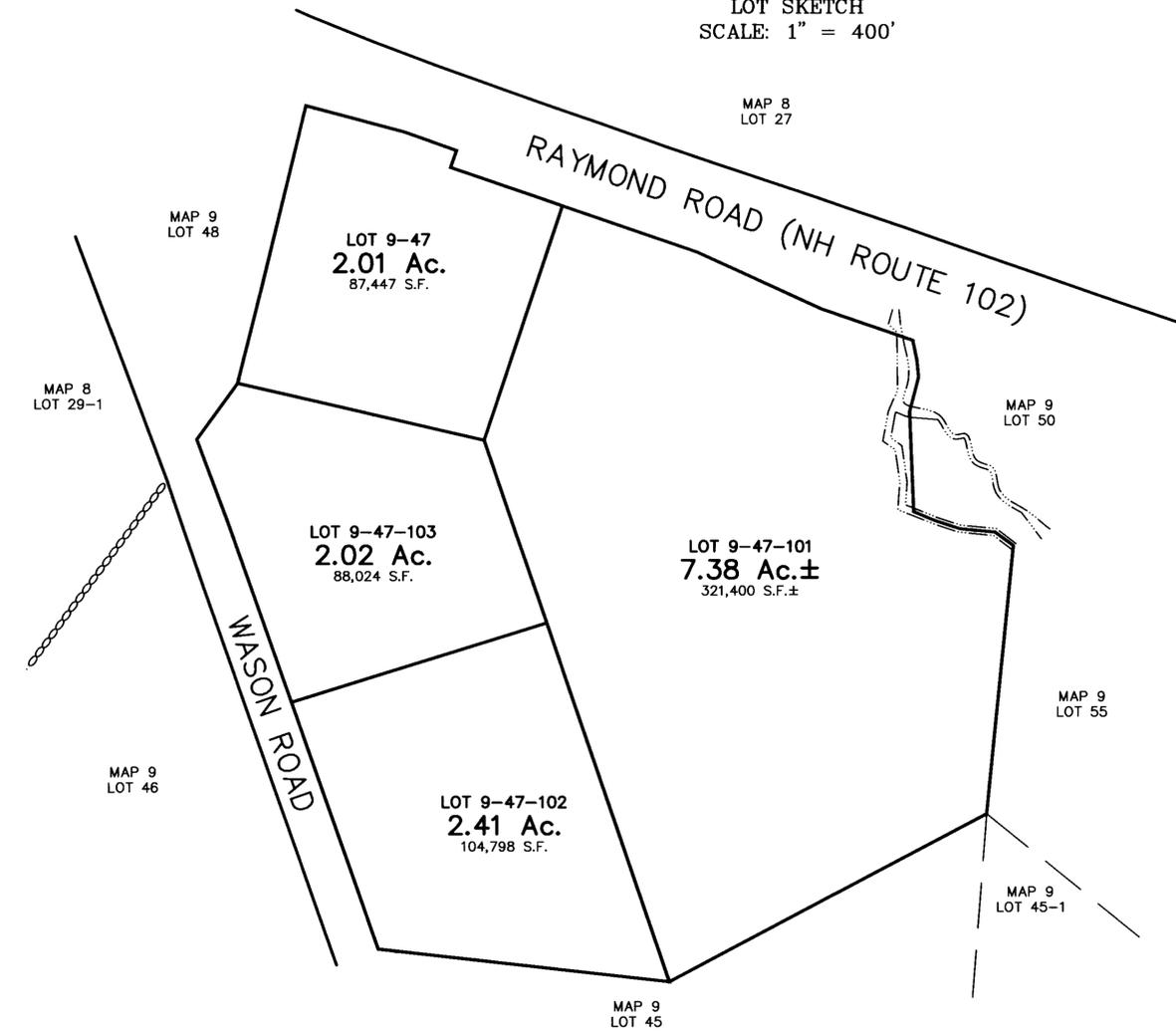
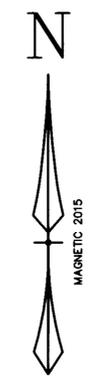
**LEGEND**

- GBF GRANITE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IP/PIN IRON PIPE / PIN
- DH DRILL HOLE
- UP UTILITY POLE
- OHU OVER HEAD UTILITIES
- ESW EXISTING STONE WALL
- EP EDGE OF PAVEMENT
- LW LIMIT OF WETLANDS
- MB MINIMUM BUILDING SETBACK (TYP)
- NCB NO CUT BUFFER (TYP)
- HN HOUSE NUMBER



**SHEET INDEX**

- SHEETS 1 - 2 SUBDIVISION PLAN OF LAND
- SHEET 3 NHDES SUBDIVISION PLAN
- SHEETS 4 - 6 DRIVEWAY PLAN & PROFILE
- SHEET 7 CONSTRUCTION DETAILS



PRESENT OWNER OF RECORD:  
LOT 47, TAX MAP 9  
RCRD VOL 5632, PG 787  
  
JMJ PROPERTIES, LLC  
130A ROCKINGHAM ROAD  
LONDONDERRY, NH 03053  
*Jan Gordon*  
AUTHORIZED SIGNATURE

APPROVED BY THE CHESTER, NH  
PLANNING BOARD ON: \_\_\_\_\_  
CERTIFIED BY: \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_

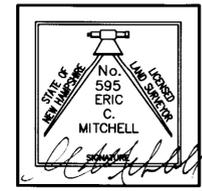
**SUBDIVISION PLAN OF LAND**  
TAX MAP 9 • LOT 47  
RAYMOND (ROUTE 102) &  
WASON ROADS  
CHESTER, NH

OWNER OF RECORD:  
**JMJ PROPERTIES, LLC**  
130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053  
JUNE 17, 2016

SCALE: 1" = 60'  
PREPARED BY

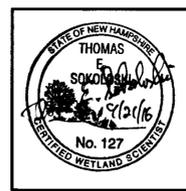
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND DURING MAY THROUGH OCTOBER OF 2015 AND HAS A RELATIVE ERROR OF CLOSURE NO GREATER THAN ONE PART IN TEN THOUSAND.  
  
*Eric C. Mitchell* 6/17/16  
ERIC C. MITCHELL L.L.S. NO. 595 DATE

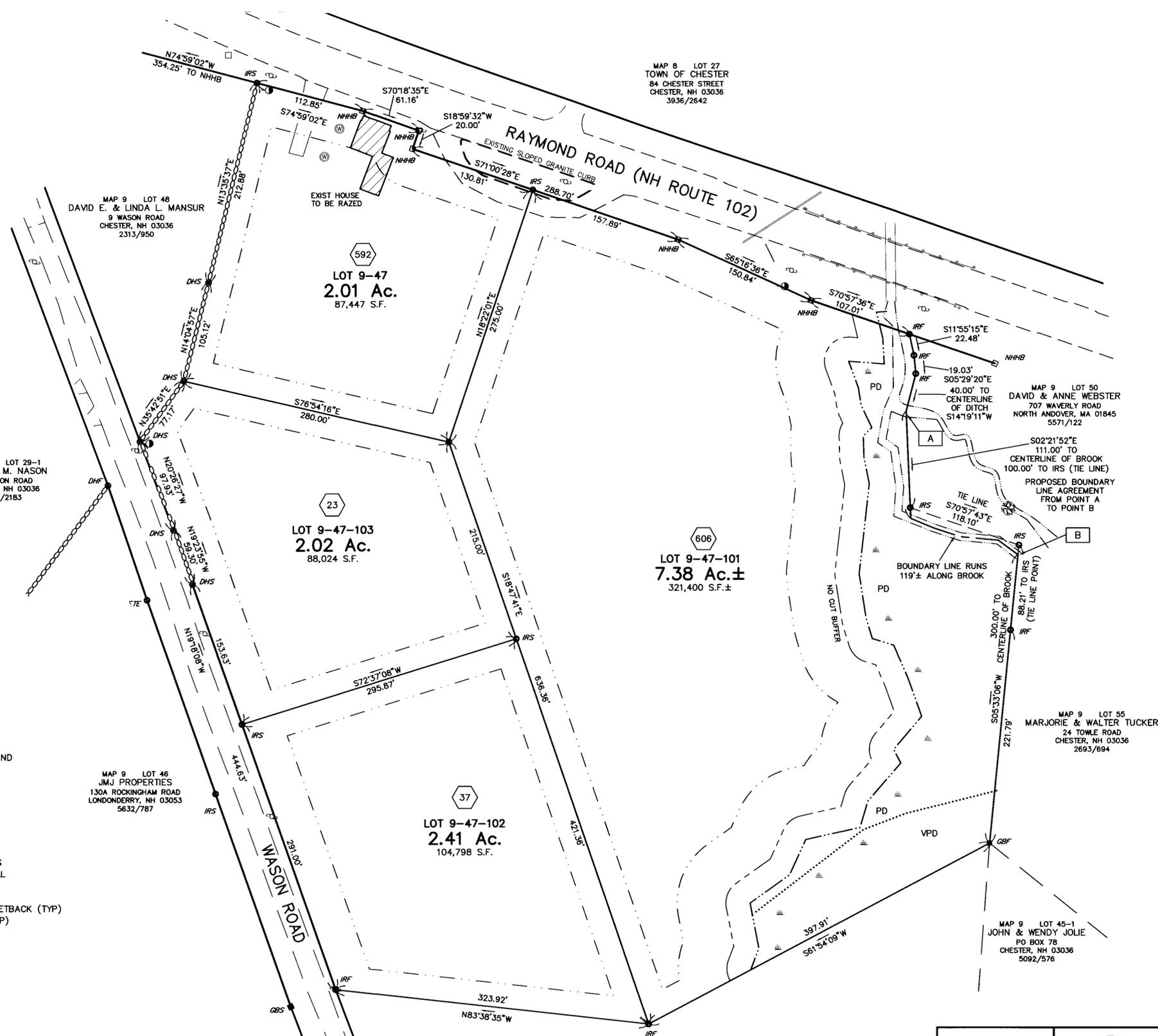
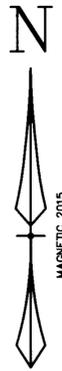


**WETLAND NOTES:**

- TOM SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING ON SEPTEMBER 8, 2015 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
- NO VERNAL POOLS WERE FOUND ON THIS SITE.



REV.	DATE	DESCRIPTION	BY
C	9/16/16	CONDITIONS OF APPROVAL	C.H
B	8/16/16	ADDRESS DUBOIS & KING & NHDOT COMMENTS	BT
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	C.H
<b>REVISIONS</b>			



**LEGEND**

- GBF GRANITE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IRON PIPE / PIN
- DRILL HOLE
- UTILITY POLE
- OVER HEAD UTILITIES
- EXISTING STONE WALL
- EDGE OF PAVEMENT
- LIMIT OF WETLANDS
- MINIMUM BUILDING SETBACK (TYP)
- NO CUT BUFFER (TYP)
- 37 HOUSE NUMBER

**NOTES**

SEE SHEET 1 FOR NOTES, PLAN REFERENCES AND VICINITY PLAN

APPROVED BY THE CHESTER, NH

PLANNING BOARD ON: \_\_\_\_\_

CERTIFIED BY: \_\_\_\_\_

CHAIRMAN: \_\_\_\_\_

SECRETARY: \_\_\_\_\_

**SUBDIVISION PLAN OF LAND**

**TAX MAP 9 • LOT 47  
RAYMOND (ROUTE 102) &  
WASON ROADS  
CHESTER, NH**

OWNER OF RECORD:

**JMJ PROPERTIES, LLC**

130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053

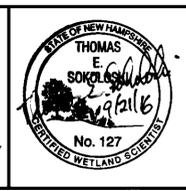
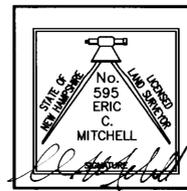
JUNE 17, 2016

SCALE: 1" = 60'

PREPARED BY

**ERIC C. MITCHELL & ASSOC. INC.**

PLANNING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181



REV.	DATE	DESCRIPTION	BY
C	9/16/16	CONDITIONS OF APPROVAL	CJH
A	8/01/16	ADDRESS D & K COMMENTS, ADD HOUSE NUMBERS	CJH
<b>REVISIONS</b>			

**TOWN LOT SIZE BREAKDOWN**

LOT	LOT 47	LOT 47-101	LOT 47-102	LOT 47-103
UPLAND < 15% (PER NHDES)	87,447	258,300	104,798	88,204
SLOPES > 15% (PER NHDES)	0	0	0	0
POORLY DRAINED SOILS	0	56,030	0	0
VERY POORLY DRAINED SOILS	0	17,000	0	0
TOTAL AREA (S.F.) =	87,447	331,330	104,798	88,204

**TOWN LOT SIZE CALCULATIONS**

	LOT 47	LOT 47-101	LOT 47-102	LOT 47-103
GROSS AREA	87,447	331,330	104,798	88,204
SLOPES > 15% (PER NHDES)	0	0	0	0
PD AREA > 20% OF 2 AC.	0	- 38,606	0	0
VERY POORLY DRAINED SOILS	0	- 17,000	0	0
TOTAL NET AREA (S.F.) = (87,120 S.F. MIN REQ.)	87,447 OK	275,724 OK	104,798 OK	88,204 OK
CONTIGUOUS AREA OF NON WETLAND/SLOPES < 15% (PER TOWN) (1 AC. MIN)	87,447 S.F.	258,300 S.F.±	104,798 S.F.	88,204 S.F.

**STATE LOT SIZE CALCULATIONS**

THE PREDOMINANT SOIL TYPE ON THE PROPOSED LOTS IS 12A & 313A. AS PER ENV-WS 1005.02 WITH A GROUP 3 SOIL AND A SLOPES (WORST CASE SCENARIO) THE MINIMUM LOT SIZE REQUIRED IS 48,000 S.F. ALL THE LOTS SHOWN HEREON EXCEED THE MINIMUM LOT SIZE REQUIREMENT.

**SOIL LEGEND**

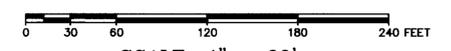
- 12A - HINCKLEY FINE SANDY LOAM 0-3% SLOPES
  - 313A - DEERFIELD FINE SANDY LOAM 0-3% SLOPES
  - 115 - SCARBORO MUCK
  - 314A - PIPESTONE SAND
  - 447B - SITUATE-NEWFIELDS COMPLEX 3-8% SLOPES, VERY STONY
- SOILS INFORMATION TAKEN FROM "GRANT DATABASE"

**NOTES**

SEE SHEET 1 FOR NOTES, PLAN REFERENCES AND VICINITY PLAN

**NHDES SUBDIVISION PLAN OF LAND**  
**TAX MAP 9 • LOT 47**  
**RAYMOND (ROUTE 102) & WASON ROADS**  
**CHESTER, NH**

OWNER OF RECORD:  
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 130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053  
 JUNE 17, 2016



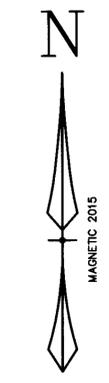
SCALE: 1" = 60'

PREPARED BY  
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 PLANNING - SURVEYING - ENVIRONMENTAL  
 P.O. BOX 1029B, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298  
 PH. (603) 627-1181

**WETLAND NOTE**

THE WETLAND DELINEATION WAS PERFORMED BY T&S ENVIRONMENTAL CONSULTANTS, LLC IN SEPTEMBER, 2015. I CERTIFY THAT THE WETLANDS SHOWN HEREON HAVE BEEN DELINEATED IN ACCORDANCE WITH ENV-WQ 1014.03

*Eric C. Mitchell*  
 ERIC C. MITCHELL ~ PERMIT. No. 709



**LEGEND**

- GBF GRANITE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
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- U UTILITY POLE
- OH OVER HEAD UTILITIES
- ES EXISTING STONE WALL
- EP EDGE OF PAVEMENT
- WL LIMIT OF WETLANDS
- MS MINIMUM BUILDING SETBACK (TYP)
- NC NO CUT BUFFER (TYP)
- H HOUSE NUMBER
- P PERC TEST
- TP TEST PIT
- 4000 4000 S.F. AREA SUITABLE FOR SEPTIC
- PD POORLY DRAINED SOILS
- VPD VERY POORLY DRAINED SOILS

REV.	DATE	DESCRIPTION	BY
C	9/16/16	CONDITIONS OF APPROVAL	CJM
B	8/16/16	ADDRESS DUBOIS & KING & NHDOT COMMENTS	BT
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM

**REVISIONS**

MAP 8 LOT 29-1  
 PATRICIA M. NASON  
 18 WASON ROAD  
 CHESTER, NH 03036  
 3118/2183

MAP 9 LOT 48  
 DAVID E. & LINDA L. MANSUR  
 9 WASON ROAD  
 CHESTER, NH 03036  
 2313/950

MAP 9 LOT 46  
 JMJ PROPERTIES  
 130A ROCKINGHAM ROAD  
 LONDONDERRY, NH 03053  
 5632/787

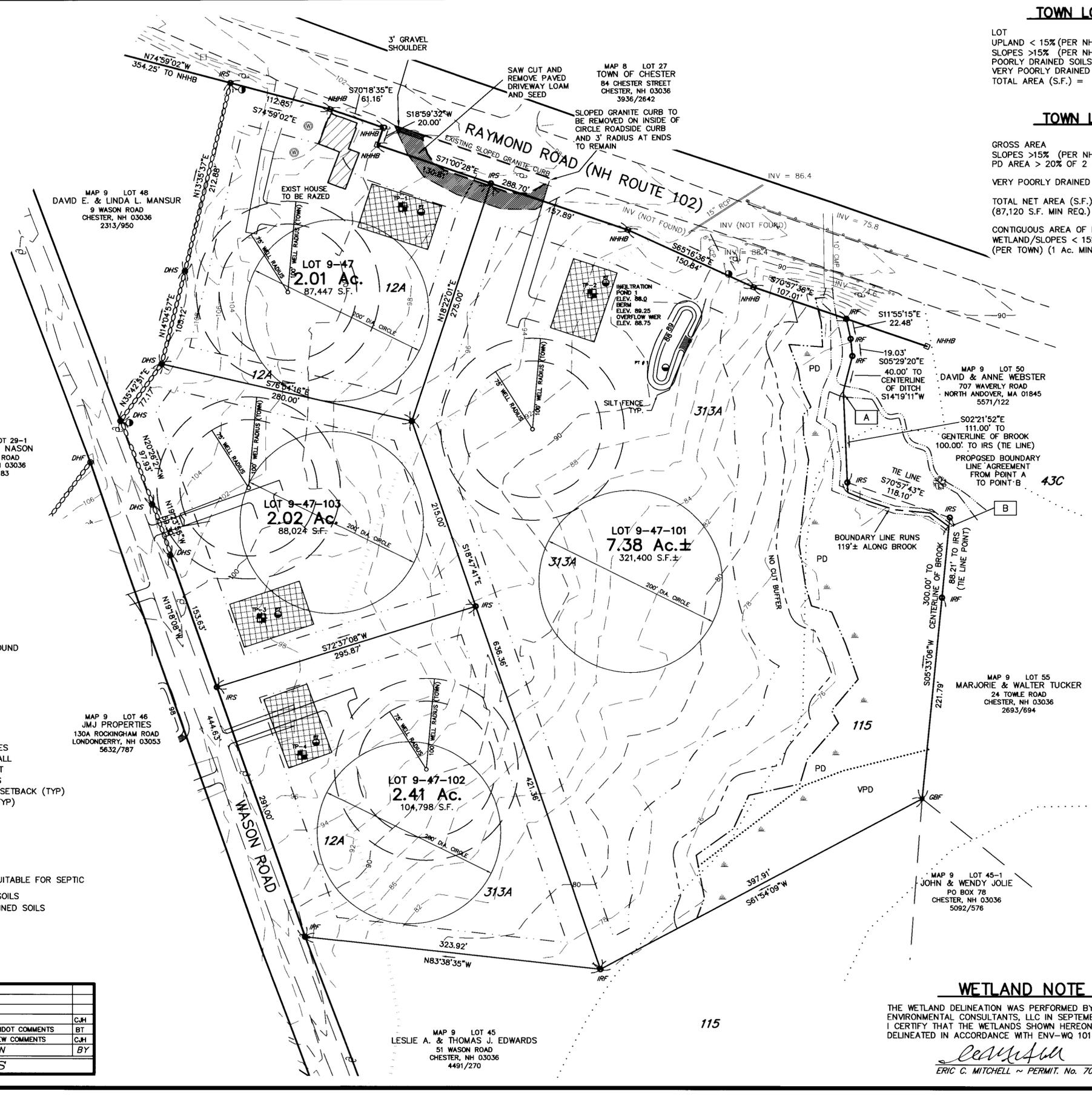
MAP 9 LOT 45  
 LESLIE A. & THOMAS J. EDWARDS  
 51 WASON ROAD  
 CHESTER, NH 03036  
 4491/270

MAP 9 LOT 55  
 MARJORIE & WALTER TUCKER  
 24 TOMLE ROAD  
 CHESTER, NH 03036  
 2693/694

MAP 9 LOT 45-1  
 JOHN & WENDY JOLIE  
 PO BOX 78  
 CHESTER, NH 03036  
 5092/576

MAP 8 LOT 27  
 TOWN OF CHESTER  
 84 CHESTER STREET  
 CHESTER, NH 03036  
 3936/2642

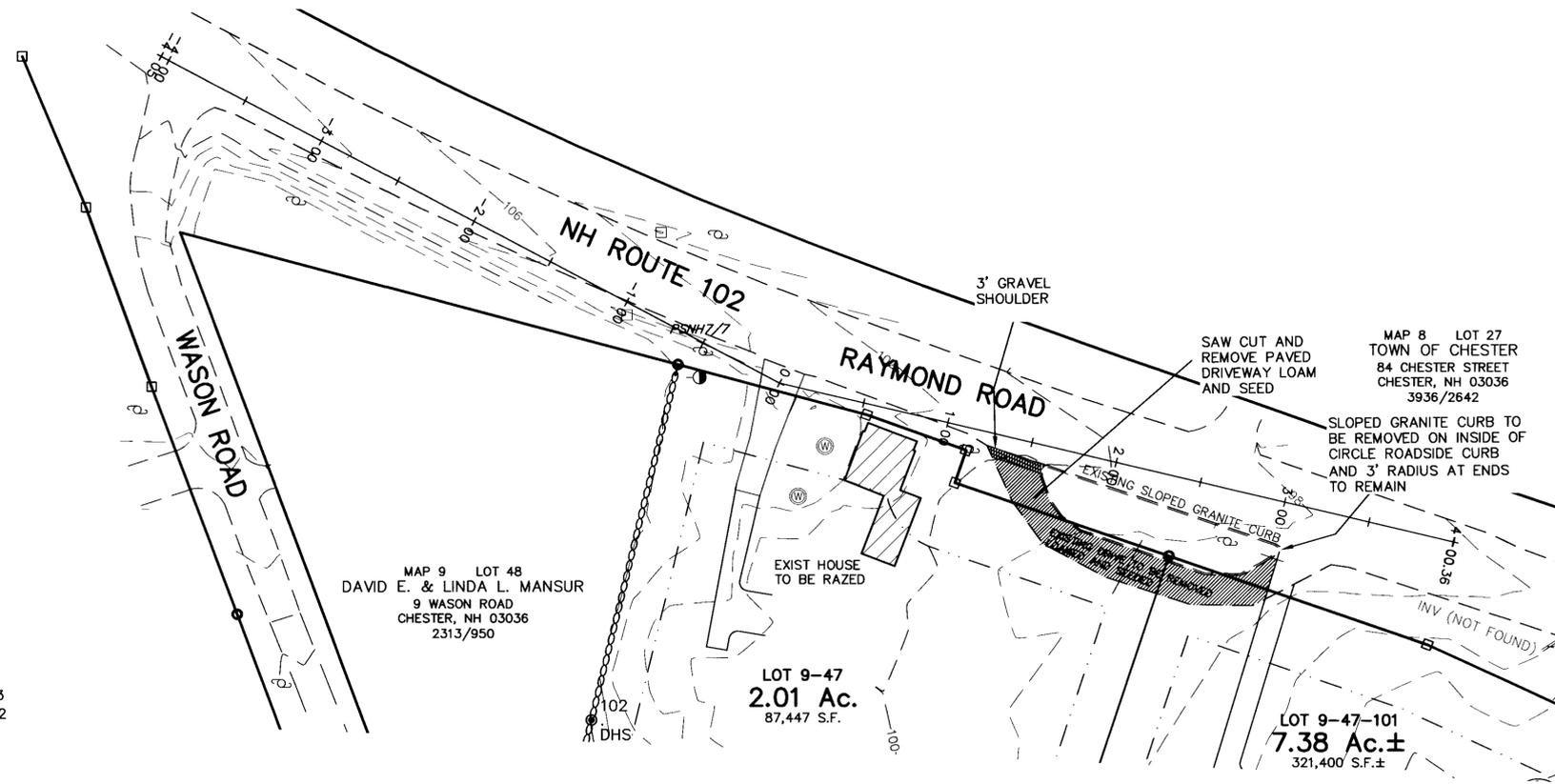
MAP 9 LOT 50  
 DAVID & ANNE WEBSTER  
 107 WAYERLY ROAD  
 NORTH ANDOVER, MA 01845  
 5571/122



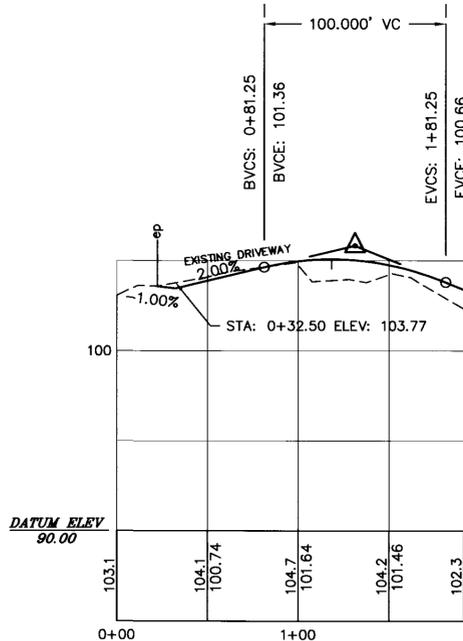
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**LEGEND**

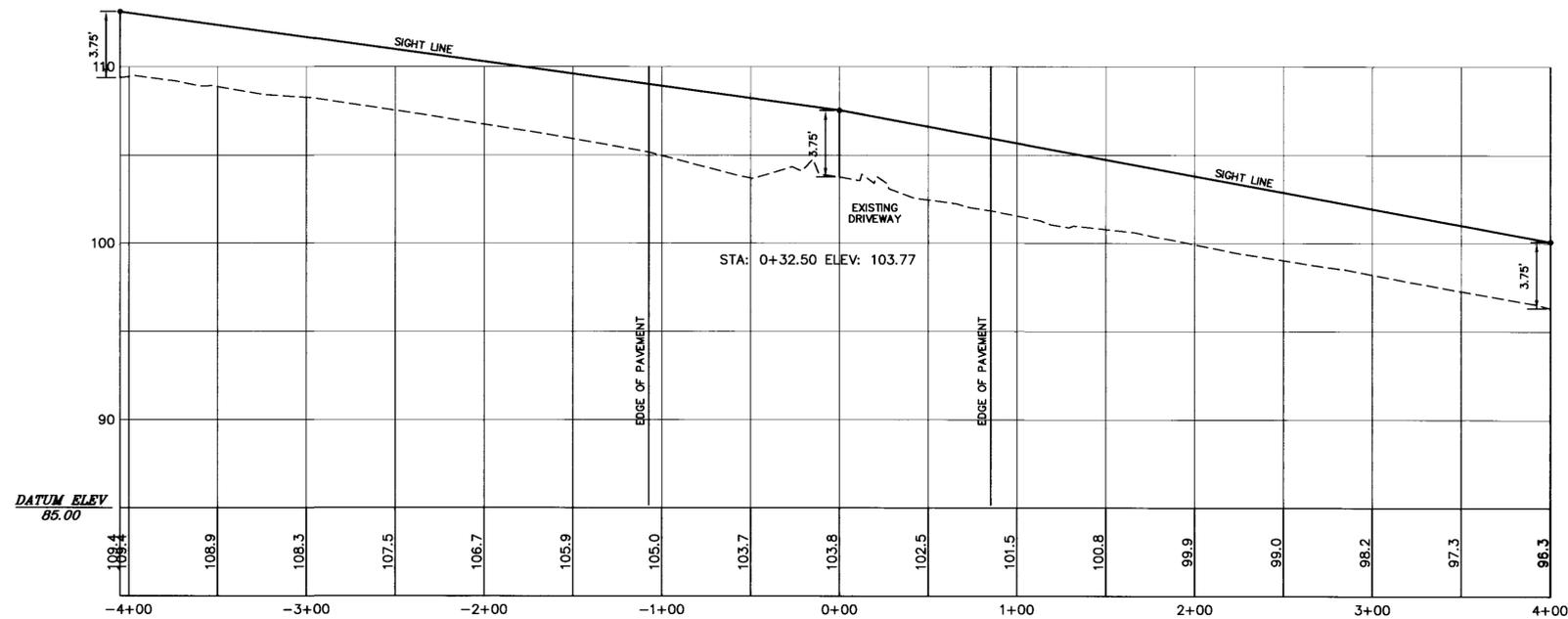
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- LIMIT OF WETLANDS
- - - MINIMUM BUILDING SETBACK (TYP)
- - - NO CUT BUFFER (TYP)



HIGH POINT ELEV = 101.73  
 HIGH POINT STA = 1+18.32  
 PVI STA = 1+31.25  
 PVI ELEV = 102.36  
 A.D. = -5.40  
 K = 18.53



EXISTING GRAVEL DRIVE  
LOT 47



ROUTE 102 (RAYMOND ROAD)  
 EXISTING DRIVE MAP 9 LOT 47  
 SIGHTLINE 10' OFFSET FROM PAVEMENT EDGE

I HEREBY CERTIFY THAT ANY ADDITIONAL STORM WATER RUNOFF INCIDENTAL TO THE DEVELOPMENT OF THIS SITE SHALL HAVE NO ADVERSE EFFECTS ON ANY OPEN OR CLOSED, PUBLIC OR PRIVATE, DOWNSTREAM DRAINAGE FACILITIES.

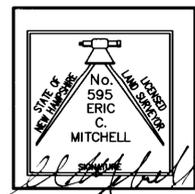
*Bernie Temple* *Eric C. Mitchell*  
 BERNIE TEMPLE, PE # 15108 DATE

I ALSO HEREBY CERTIFY THAT ADEQUATE ALL SEASON SAFE SIGHT DISTANCE IN ACCORDANCE WITH ARTICLE 4.12.9.5 OF THE TOWN OF CHESTER SUBDIVISION REGULATIONS CAN BE ACHIEVED AT THE PROPOSED DRIVEWAY LOCATIONS

*Bernie Temple* *Eric C. Mitchell*  
 BERNIE TEMPLE, PE # 15108 DATE

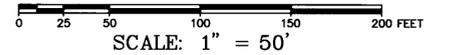
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NOTE: THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND THE SIGHT LINES TO ACHIEVE VISIBILITY.



**NHDOT SIGHT DISTANCE PLAN & PROFILE**  
 TAX MAP 9 • LOT 47  
 RAYMOND (ROUTE 102) &  
 WASON ROADS  
 CHESTER, NH

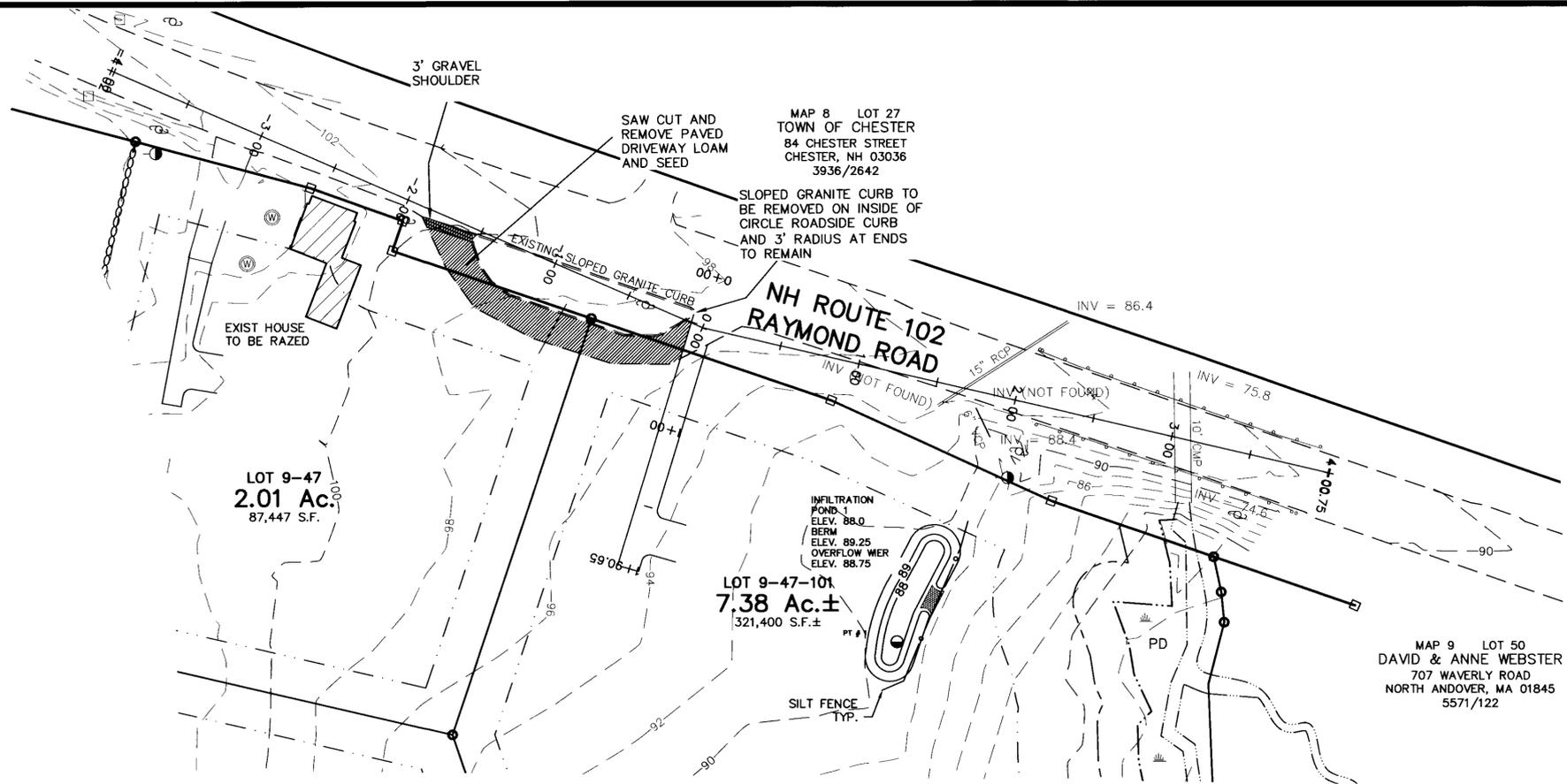
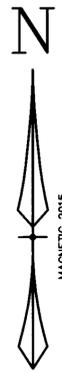
OWNER OF RECORD:  
**JMJ PROPERTIES, LLC**  
 130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053  
 JUNE 17, 2016



PREPARED BY  
**ERIC C. MITCHELL & ASSOC. INC.**  
 PLANNING - SURVEYING - ENVIRONMENTAL  
 P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298  
 PH. (603) 627-1181

HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE 1" = 5'

REV.	DATE	DESCRIPTION	BY
B	8/16/16	NHDOT COMMENTS	BT
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM
<b>REVISIONS</b>			



**LEGEND**

- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
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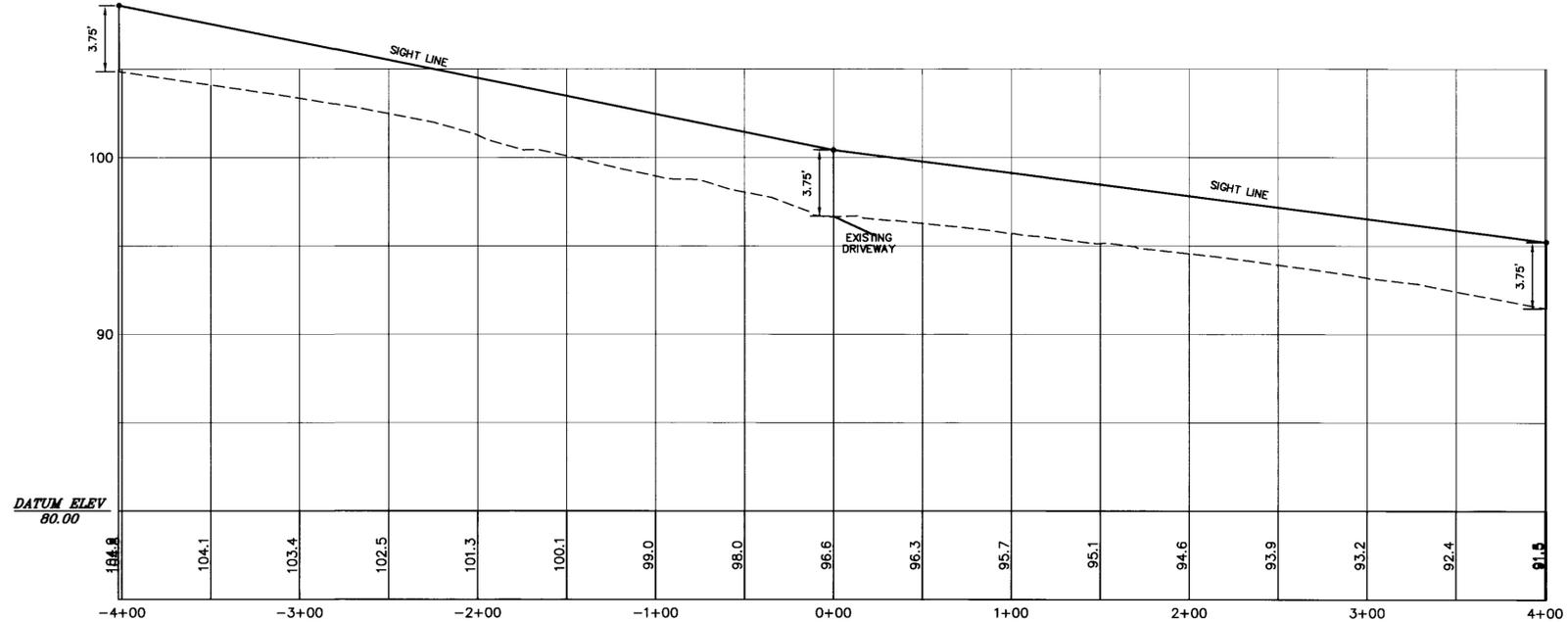
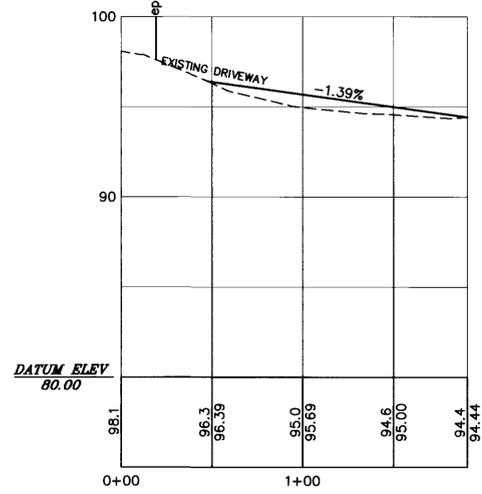
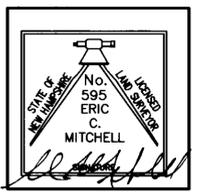
*Bernie Temple* 9/16/16  
BERNIE TEMPLE, PE # 15108 DATE

I ALSO HEREBY CERTIFY THAT ADEQUATE ALL SEASON SAFE SIGHT DISTANCE IN ACCORDANCE WITH ARTICLE 4.12.9.5 OF THE TOWN OF CHESTER SUBDIVISION REGULATIONS CAN BE ACHIEVED AT THE PROPOSED DRIVEWAY LOCATIONS.

*Bernie Temple* 9/16/16  
BERNIE TEMPLE, PE # 15108 DATE

NOTE: ALL PROPOSED DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH ARTICLE 4.12.9 OF THE CHESTER SUBDIVISION REGULATIONS.

NOTE: THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND THE SIGHT LINES TO ACHIEVE VISIBILITY.



ROUTE 102 (RAYMOND ROAD)  
EXISTING DRIVE MAP 9 LOT 47-101  
SIGHTLINE 10' OFFSET FROM PAVEMENT EDGE

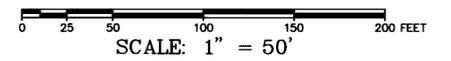
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REV.	DATE	DESCRIPTION	BY
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM

**REVISIONS**

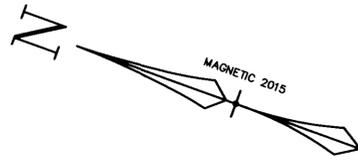
**NHDOT SIGHT DISTANCE PLAN & PROFILE**  
TAX MAP 9 • LOT 47  
RAYMOND (ROUTE 102) &  
WASON ROADS  
**CHESTER, NH**

OWNER OF RECORD:  
**JMJ PROPERTIES, LLC**  
130A ROCKINGHAM ROAD, LONDONDERRY, NH 03053  
JUNE 17, 2016



PREPARED BY  
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 106 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181

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MAP 9 LOT 48  
DAVID E. & LINDA L. MANSUR  
9 WASON ROAD  
CHESTER, NH 03036  
2313/950

LOT 47-103  
2.02 Ac.  
88,024 S.F.

LOT 9-47-102  
2.41 Ac.  
104,798 S.F.

MAP 9 LOT 45  
LESLIE A. & THOMAS J. EDWARDS  
51 WASON ROAD  
CHESTER, NH 03036  
4481/270

MAP 9 LOT 46  
JMJ PROPERTIES  
130A ROCKINGHAM ROAD  
LONDONDERRY, NH 03053  
5632/787

**LEGEND**

- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- DHS DRILL HOLE SET
- DHF DRILL HOLE FOUND
- IP/P IRON PIPE / PIN
- DH DRILL HOLE
- UP UTILITY POLE
- OHU OVER HEAD UTILITIES
- ESW EXISTING STONE WALL
- EP EDGE OF PAVEMENT
- LW LIMIT OF WETLANDS
- MSB MINIMUM BUILDING SETBACK (TYP)
- NCB NO CUT BUFFER (TYP)

I HEREBY CERTIFY THAT ANY ADDITIONAL STORM WATER RUNOFF INCIDENTAL TO THE DEVELOPMENT OF THIS SITE SHALL HAVE NO ADVERSE EFFECTS ON ANY OPEN OR CLOSED, PUBLIC OR PRIVATE, DOWNSTREAM DRAINAGE FACILITIES.

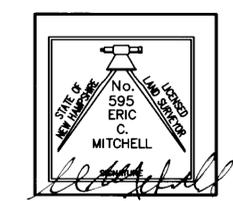
*Bernie Temple* 8/16/16  
BERNIE TEMPLE, PE # 15108 DATE

I ALSO HEREBY CERTIFY THAT ADEQUATE ALL SEASON SAFE SIGHT DISTANCE IN ACCORDANCE WITH ARTICLE 4.12.9.5 OF THE TOWN OF CHESTER SUBDIVISION REGULATIONS CAN BE ACHIEVED AT THE PROPOSED DRIVEWAY LOCATIONS

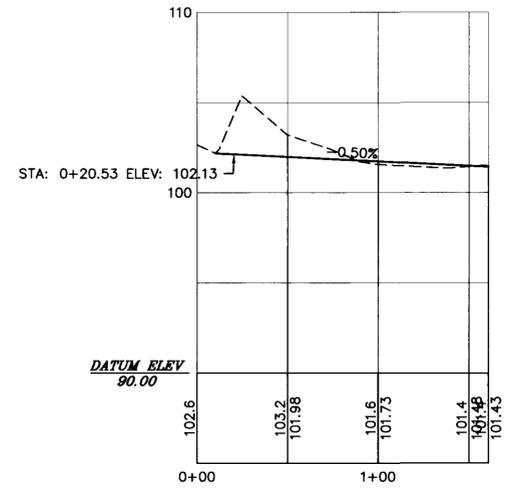
*Bernie Temple* 8/16/16  
BERNIE TEMPLE, PE # 15108 DATE

NOTE: ALL PROPOSED DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH ARTICLE 4.12.9 OF THE CHESTER SUBDIVISION REGULATIONS.

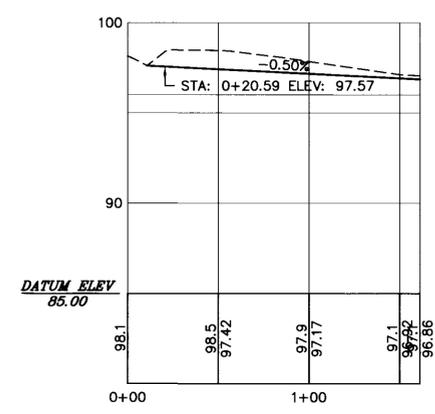
NOTE: THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND THE SIGHT LINES TO ACHIEVE VISIBILITY.



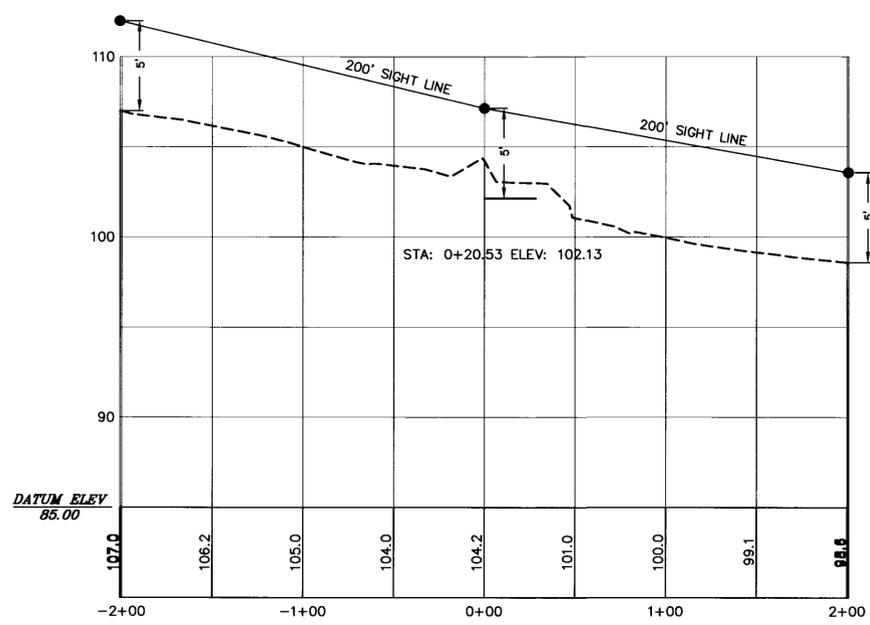
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE 1" = 5'



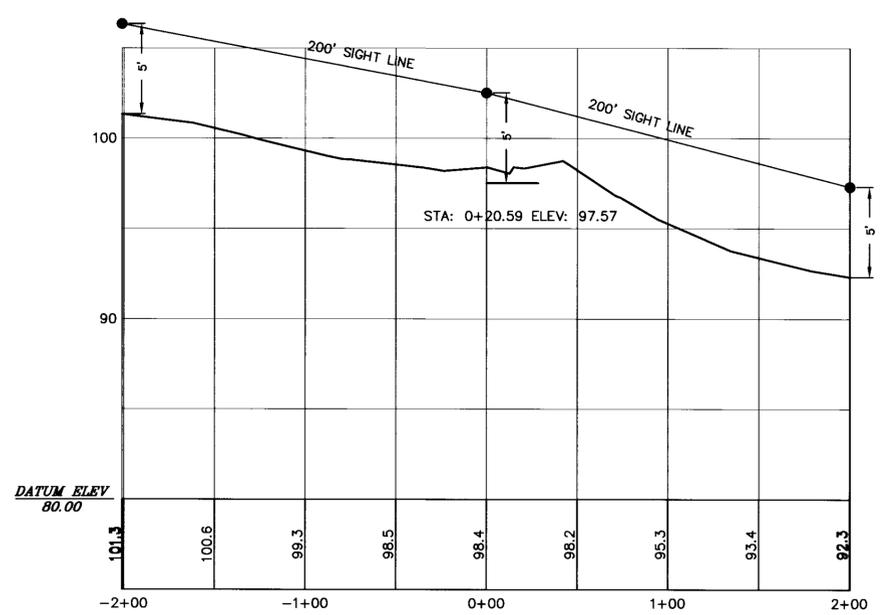
PROPOSED DRIVE  
LOT 47-103



PROPOSED DRIVE  
LOT 47-102



WASON ROAD  
PROPOSED DRIVE MAP 9 LOT 47-103  
SIGHTLINE 10' OFFSET FROM GRAVEL EDGE



WASON ROAD  
PROPOSED DRIVE MAP 9 LOT 47-102  
SIGHTLINE 10' OFFSET FROM GRAVEL EDGE

REV.	DATE	DESCRIPTION	BY
A	8/01/16	ADDRESS DUBOIS & KING REVIEW COMMENTS	CJM

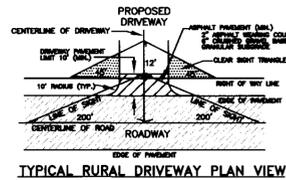
**REVISIONS**

**DRIVEWAY SIGHT DISTANCE PLAN & PROFILE**  
TAX MAP 9 • LOT 47  
RAYMOND (ROUTE 102) &  
WASON ROADS  
CHESTER, NH

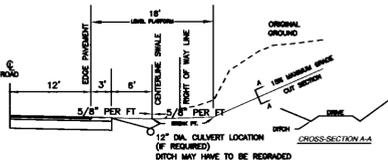
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JUNE 17, 2016

SCALE: 1" = 50'

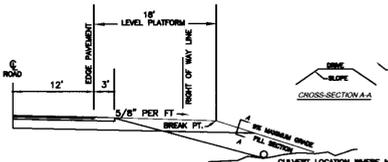
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- DRIVEWAY CONSTRUCTION REQUIREMENTS**
- ALL DRIVEWAYS CONNECTED TO TOWN ROADS MUST BE BUILT AND MAINTAINED BY THE HOMEOWNER OR HIS/HER REPRESENTATIVE IN ACCORDANCE WITH THESE SPECIFICATIONS.
  - DRIVEWAYS CAN NOT DIVERT OR INTERRUPT THE NATURAL OR DITCHLINE FLOW OF RUNOFF. IN MOST CASES, THIS CAN BE ACCOMPLISHED THROUGH THE INSTALLATION OF A RCP, CORRUGATED ALUMINUM, CORRUGATED HOPE OR PVC METAL PIPE CULVERT (12" MINIMUM OR AS SPECIFIED HEREIN) UNDER THE DRIVEWAY WITH PROPER ALIGNMENT AND GRADE.
  - WHERE SHALLOW DITCHLINES EXIST AT THE CREST OF A TOWN ROAD OR NATURAL DRAINAGE COURSES DISCHARGE RUNOFF FROM THE TOWN ROADWAY, DRIVEWAYS MAY BE REQUIRED TO BE DERESSED AT A POINT BEYOND THE ROAD SHOULDER TO ACCOMMODATE THE FLOW OF SURFACE WATER. (SEE TYPICAL DRIVEWAY PROFILE DETAILS BELOW).
  - THE PROPOSED DRIVEWAY LOCATION MUST BE STAKED OUT PRIOR TO APPROVAL OF THE PERMIT.
  - THERE SHALL BE NO PERMANENT STRUCTURE CONSTRUCTED, BELOW OR ABOVE THE FINISH GRADE, THAT IS CONTAINED WITHIN THE TOWN RIGHT-OF-WAY. IT SHALL BE THE APPLICANT'S RESPONSIBILITY TO DETERMINE THE LOCATION OF THE RIGHT-OF-WAY LINE (PROPERTY LINE).
  - EXISTING VEGETATION SHALL BE CLEARED AS REQUIRED TO ACHIEVE 200' SAFE SIGHT DISTANCE.

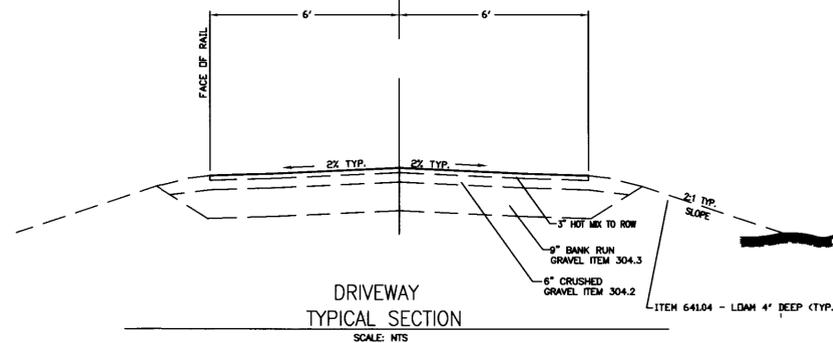


TYPICAL RURAL DRIVEWAY - CUT CROSS SECTION  
NOT TO SCALE

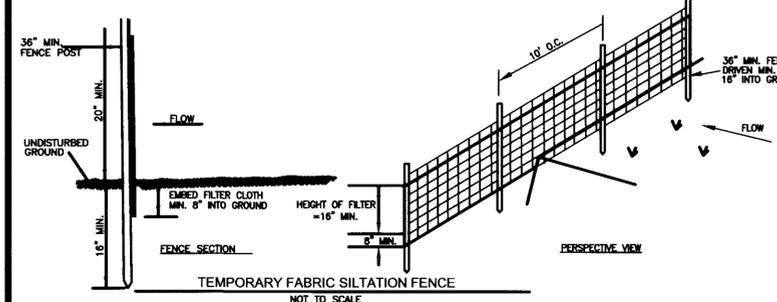


TYPICAL RURAL DRIVEWAY - FILL CROSS SECTION  
NOT TO SCALE

**TYPICAL RURAL DRIVEWAY DETAILS**  
NOT TO SCALE

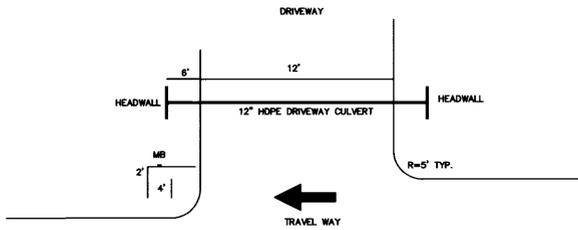


- NOTES**
- ALL DRIVEWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE CHESTER.
  - PROVIDE 4" LOAM & SEED (MIN.) ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.

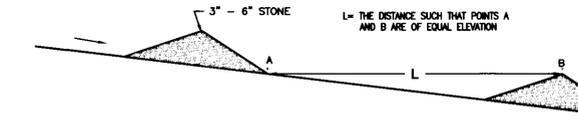


- NOTES:**
- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
  - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

- CONSTRUCTION SPECIFICATIONS**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
  - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 6 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 8 INCHES, FOLDED AND STAPLED.
  - FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.



DRIVEWAY DETAIL  
NOT TO SCALE

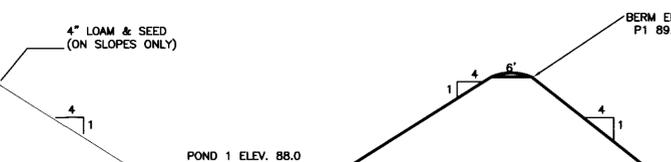


**STANDARD STONE CHECK DAM DESIGN**

SLOPE	SPACING
2% OR LESS	100'
2.1% TO 4%	50'
4.1% TO 6%	33'
6.1% TO 8%	25'
OVER 8%	USE LINED WATERWAY DESIGN

- SPECIFICATIONS**
- CHECK DAMS SHALL BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
  - THE MAXIMUM HEIGHT OF THE DAM SHALL BE 2 FEET.
  - THE CENTER OF THE DAM SHALL BE AT LEAST 6 INCHES LOWER THAN THE OUTER EDGES.
  - THE MAXIMUM SPACING BETWEEN THE DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE OVERFLOW ELEVATION OF THE DOWNSTREAM DAM.
  - STONE CHECK DAMS SHALL BE CONSTRUCTED OF A WELL-GRADED ANGULAR 2-INCH TO 3-INCH STONE. 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
  - IF PROVIDED BY DESIGN AND CONSTRUCTION PLANS, LEAVE THE DAM IN PLACE PERMANENTLY.
  - TEMPORARY STRUCTURES SHALL BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED:
    - IN TEMPORARY DITCHES AND SWALES, CHECK DAMS SHALL BE REMOVED AND THE DITCH FILLED IN WHEN IT IS NO LONGER NEEDED.
    - IN PERMANENT STRUCTURES, CHECK DAMS SHALL BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. IF THE PERMANENT LINING IS VEGETATION, THEN THE CHECK DAM SHALL BE RETAINED UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER REMOVAL.

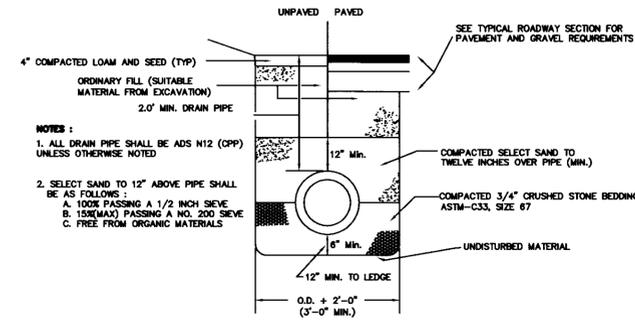
**TEMPORARY STONE CHECK DAMS**  
NOT TO SCALE



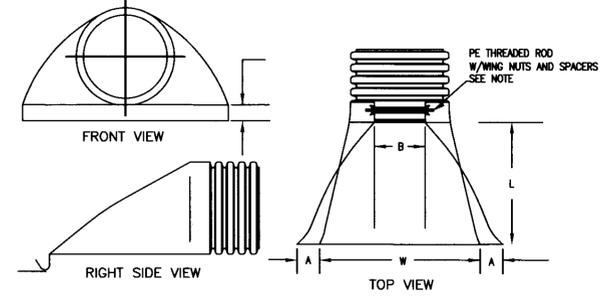
INFILTRATION POND MAXIMUM DEPTH 1 FOOT  
NOT TO SCALE

- SPECIFICATIONS**
- PONDS SHALL BE CONSTRUCTED IN THE INITIAL STAGES OF CONSTRUCTION.
  - POND PREPARATION - THE AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOIL, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOIL SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED SLOPES AND SPILLWAYS. FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IS SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
  - FILL PLACEMENT - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL. SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MOST IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
  - MOISTURE CONTROL - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
  - COMPACTION - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.
  - PROTECTION - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNDER CONDITIONS PERMIT ESTABLISHMENT OR PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION. SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.

\*\* NOTE: BACK FILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED TO TOWN COMPACTION STANDARDS OF 75% MODIFIED PROCTOR.



TYPICAL PIPE TRENCH  
NOT TO SCALE

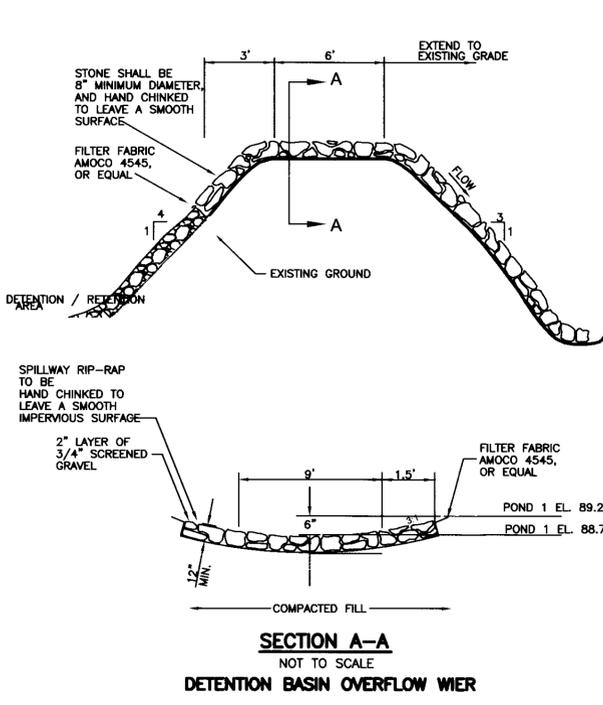


NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN	29.00 IN
1510NP	15 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN	29.00 IN
1810NP	18 IN	7.50 IN	15.00 IN	6.50 IN	32.00 IN	35.00 IN
2410NP	24 IN	7.50 IN	18.00 IN	6.50 IN	36.00 IN	45.00 IN
3015NP	30 IN	7.50 IN	12.00 IN	8.60 IN	58.00 IN	63.00 IN
3615NP	36 IN	7.50 IN	25.00 IN	8.60 IN	58.00 IN	63.00 IN



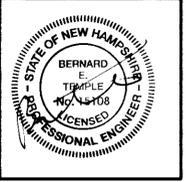
**HDPE FLARED END SECTION**



SECTION A-A  
NOT TO SCALE  
DETENTION BASIN OVERFLOW WIER

**EROSION CONTROL NOTES**

- ALL SILTATION FENCE SHALL BE ERRECTED BEFORE THE START OF EARTHWORK OPERATIONS. SILTATION FENCE SHALL BE REMOVED UPON ACCEPTANCE OF THE PROJECT.
- THE INTENT OF THIS PROJECT IS TO CONTROL SEDIMENT DURING NEW CONSTRUCTION AND GRADING. ROADWAY EARTH CUTS AND ALL EXPOSED SURFACES SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF WORK.
- IN ORDER TO PREVENT UNNECESSARY EROSION OF NEWLY GRADED ROAD SLOPES & UNNECESSARY SILTATION OF DRAINAGEWAYS, THE CONTRACTOR SHALL PERFORM LOAMING, HYDROSEEDING AND MULCHING AS SOON AS HE HAS SATISFACTORILY COMPLETED A UNIT OR PORTION OF THE PROJECT, SUCH AS EMBANKMENTS OR CUTS, A SECTION OF PAVEMENT OR DRAINAGEWAYS.
- MULCHING, AND/OR TEMPORARY OR PERMANENT SEEDING IN ACCORDANCE WITH THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE" NHDDES ET AL. AUG 1992, SHALL BE USED TO STABILIZE ALL DISTURBED AREAS. ALL AREAS AT FINAL GRADE WILL BE STABILIZED WITHIN 72 HOURS OF CONSTRUCTION.
- SILT FENCE WITH HAY BALES SHALL BE SECURED WITH A MINIMUM OF TWO STAKES PER BALE AND PROVIDED AT ALL DRAINAGEWAYS AND PIPE OUTLETS AS INDICATED ON THE CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" OF LOAM OR TOPSOIL AND HYDROSEED ALL DISTURBED UNPAVED SURFACES (AND SURFACES NOT DESIGNATED FOR GRAVEL OR MULCH) WITHIN THE LIMIT OF WORK.
- THE CONTRACTOR SHALL MAINTAIN CRUSHED STONE CONSTRUCTION ENTRANCES (100' MIN.) AND SHALL CLEAN AND REMOVE ANY SAND, SOIL OR DEBRIS CARRIED ON TO TOWN ROAD(S) BY TRUCKS LEAVING THE SITE AT THE END OF EACH DAY.
- THE CONTRACTOR SHALL INSPECT, CLEAN AND PROPERLY MAINTAIN (INCLUDING REPLACING AS NECESSARY) ALL EROSION CONTROL MEASURES DAILY DURING THE PROJECT.
- NO DISTURBED AREA SHALL BE LEFT UNPROTECTED FROM EROSION FOR A PERIOD OF MORE THAN 30 DAYS. PROTECTION SHALL BE BY LOAMING, SEEDING, EROSION CONTROL MATTING OR OTHER ACCEPTABLE METHODS.
- NO DISTURBED AREA SHALL BE LEFT UNPROTECTED FROM EROSION OVER THE WINTER SEASON. THE WINTER SEASON IS HEREBY DEFINED AS THE PERIOD FROM NOV. 1 TO APRIL 1. THIS SHALL NOT RESTRICT WORK FROM TAKING PLACE OVER THE WINTER MONTHS, BUT THE CONTRACTOR/OWNER SHALL NOT ALLOW AN AREA GREATER THAN 5000 S.F. TO BE LEFT UNPROTECTED.
- SILT FENCE SHALL BE PROVIDED AROUND ALL TEMPORARY STOCKPILES OF MATERIAL.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING THE CONSTRUCTION PHASE OF THE PROJECT. IN NO CASE SHALL THE DISTURBANCE EXCEED 3 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3" NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL EROSION CONTROL MEASURES SHALL MEET, AT A MINIMUM, THE BEST MANAGEMENT PRACTICES SET FORTH IN THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPMENT AREAS IN NEW HAMPSHIRE."



REV.	DATE	DESCRIPTION	BY
B	8/16/16	ADDRESS DUBOS & KING & NHDOT COMMENTS	BT
A	8/01/16	ADDRESS DUBOS & KING REVIEW COMMENTS	C.J.H.

**CONSTRUCTION DETAILS**

TAX MAP 9 • LOT 47  
RAYMOND (ROUTE 102) &  
WASON ROADS  
CHESTER, NH

OWNER OF RECORD:  
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SCALE: 1" = NO SCALE

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