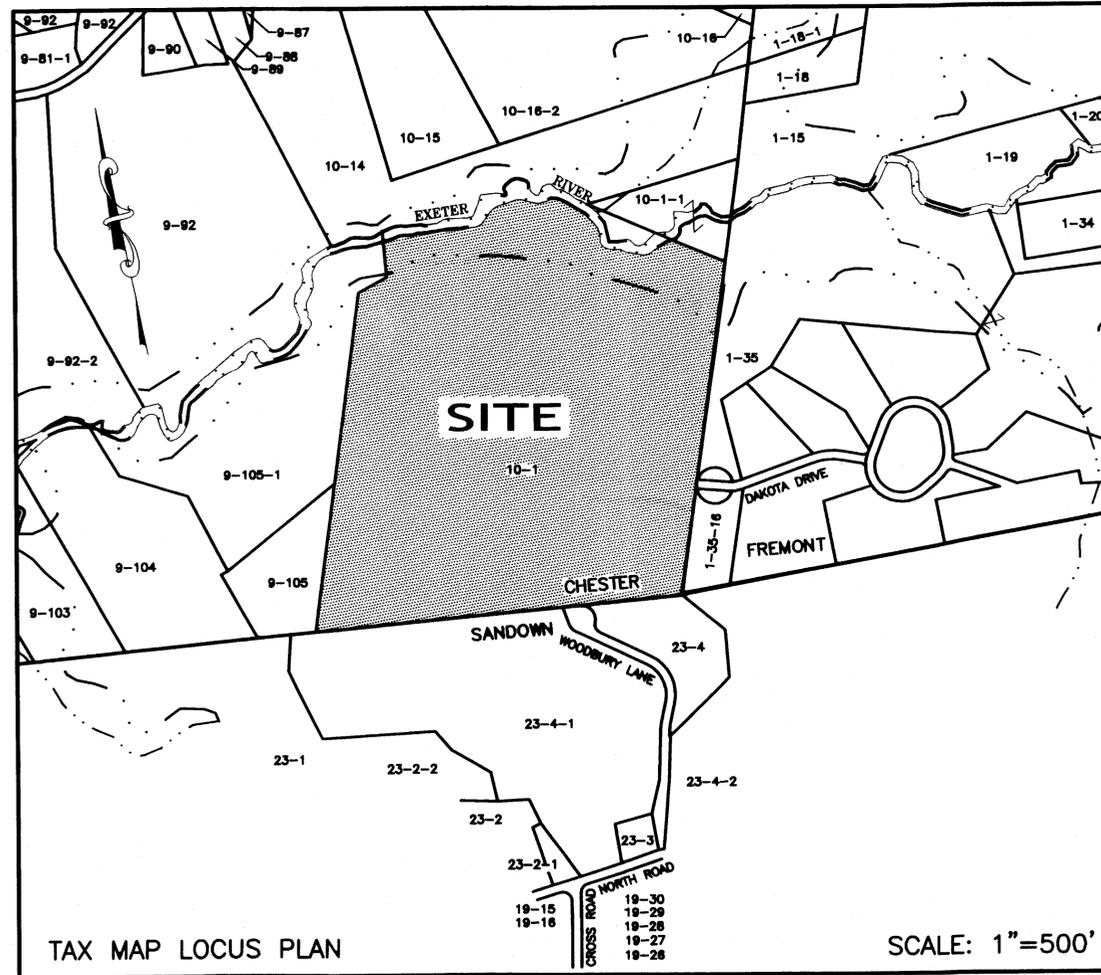


RESIDENTIAL CLUSTER SUBDIVISION MILL PINE VILLAGE WOODBURY LANE CHESTER, NEW HAMPSHIRE PREPARED FOR MILL PINE VILLAGE, LLC

EXISTING	LEGEND	PROPOSED
	ZONING BOUNDARY	
	PROPERTY LINE	
	STONEWALL	
	IRON PIN	
	DRILL HOLE	
	BOUND	
	TEST PIT	
	PERC TEST	
	TREE	
	TREE LINE	
	EDGE OF WETLAND	
	WETLAND SYMBOL	
	EDGE OF PAVEMENT	
	VERTICAL GRANITE CURB	
	SLOPED GRANITE CURB	
	BITUMINOUS CURB	
	TRAFFIC FLOW ARROW SIGN	
	CHAIN LINK FENCE	
	WOODEN STOCKADE FENCE	
	GUARDRAIL	
	LIGHT POLE	
	BUILDING LIGHT	
	UTILITY POLE	
	GUY WIRE	
	GUY POLE	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	OVERHEAD UTILITIES	
	UNDERGROUND UTILITIES	
	GAS GATE	
	GAS LINE	
	WATER VALVE	
	FIRE HYDRANT	
	WATER LINE	
	CATCH BASIN	
	STORM DRAIN MANHOLE	
	FLARED END SECTION	
	RIPRAP APRON	
	STORM DRAIN LINE	
	SEWER MANHOLE	
	SEWER LINE	
	2 FOOT CONTOUR	
	10 FOOT CONTOUR	
	SPOT GRADE	
	SILT FENCE	
	HAYBALE	
	SILT FENCE W/ HAYBALE	
	STONE CHECK DAM	
	DETAIL IDENTIFICATION KEY	

THIS IS A STANDARD LEGEND THAT INCLUDES INFORMATION REQUIRED FOR MOST CONSTRUCTION PROJECTS AND CERTAIN SYMBOLS MAY NOT BE USED WITHIN THIS PLAN SET. PLEASE ALSO NOTE THAT THE ABOVE LEGEND MAY OR MAY NOT BE A COMPLETE CATALOG OF ALL THE SYMBOLS USED IN THIS PLAN SET.



TAX MAP LOCUS PLAN

SCALE: 1"=500'

ABUTTERS

MAP 1 LOTS 35 & 35-16, MAP 10 LOT 1-1 DAKOTA REALTY TRUST FRANCIS M. MCCARTHY JR. 66 PINEHURST AVE. BILLERICA, MA 01821-8065	MAP 10 LOT 15 JOHN GILL 670 FREMONT RD CHESTER, NH 03036	MAP 19 LOT 27 & 28 LAWRENCE SOMERS 95 NORTH ROAD SANDOWN, NH 03873	MAP 23 LOT 2-1 VERA PITTS 84 NORTH ROAD SANDOWN, NH 03873
MAP 9 LOT 92 PAUL M LORANGER 8 CARROL STREET EXETER, NH 03833	MAP 10 LOT 18-2 MICHAEL J. KOPACZ 684 FREMONT RD CHESTER, NH 03036	MAP 19 LOT 29 ANDREW HIGHAM 86 NORTH ROAD SANDOWN, NH 03873	MAP 23 LOT 2-2 RANIER & ANITA WISCHINSKI 74 NORTH ROAD SANDOWN, NH 03873
MAP 9 LOT 105 PATRICIA GILMORE (TRUSTEE) NORDIC LINCOLN REALTY TRUST P.O. BOX 230 HAVERHILL, MA 01831	MAP 19 LOT 15 KASHER CORP 66 PINEHURST AVE BILLERICA, MA 01821	MAP 19 LOT 30 JAMES PASSANISI 85 NORTH ROAD SANDOWN, NH 03873	MAP 23 LOT 3 RICHARD INFANTI JOANNE KELLAR 92 NORTH ROAD SANDOWN, NH 03873
MAP 9 LOT 105-1 KORM, LLC CUB POND ROAD, BOX 14 DANVILLE, NH 03819	MAP 19 LOT 16 PAUL & JANET LEWIS 77 NORTH ROAD SANDOWN, NH 03873	MAP 23 LOT 1 PATRICIA GILMORE (TRUSTEE) NORDIC LINCOLN REALTY TRUST P.O. BOX 230 HAVERHILL, MA 01831	MAP 23 LOTS 4 & 4-1 MILL PINE VILLAGE, LLC P.O. BOX 113 SANDOWN, NH 03873
MAP 10 LOT 1 (OWNER) MILL PINE VILLAGE, LLC P.O. BOX 113 SANDOWN, NH 03873	MAP 19 LOT 26 PAUL & RITA-ANN LANQUETTE 97 NORTH ROAD SANDOWN, NH 03873	MAP 23 LOT 2 ROBERT & JUDITH LOEFFLER 76 NORTH ROAD SANDOWN, NH 03873	MAP 23 LOT 4-2 DOUGLAS & MARGIE HEMINGWAY 96 NORTH RD. SANDOWN, NH 03873
MAP 10 LOT 14 MICHAEL H. HEATON 660 FREMONT ROAD CHESTER, NH 03036			

SHEET #

SHEET NAME

LAST REVISED

—	COVER SHEET	SEPTEMBER 6, 2006
S1	SUBDIVISION PLAN	SEPTEMBER 6, 2006
S2	SUBDIVISION PLAN	SEPTEMBER 6, 2006
S3	TOPOGRAPHIC SUBDIVISION PLAN	MARCH 24, 2005
S4	TOPOGRAPHIC SUBDIVISION PLAN	MARCH 24, 2005
S5	OPEN SPACE PLAN	SEPTEMBER 6, 2006
S6	OPEN SPACE PLAN	SEPTEMBER 6, 2006
C1	SITE PLAN	MARCH 24, 2005
C2	SITE PLAN	MARCH 24, 2005
C3	GRADING PLAN	JUNE 23, 2006
C4	GRADING PLAN	JUNE 23, 2006
C5	UTILITY PLAN	JUNE 23, 2006
C6	UTILITY PLAN	JUNE 23, 2006
P1	PRIVATE ROADWAY PROFILES	MARCH 24, 2005
P2	PRIVATE ROADWAY PROFILES	MARCH 24, 2005
P3	ROADWAY PLAN & PROFILE WOODBURY LANE STA. 10+00 TO 21+50	MARCH 24, 2005
P4	ROADWAY PLAN & PROFILE WOODBURY LANE STA. 21+50 TO 33+00	JUNE 14, 2006
X1	ROADWAY CROSS SECTIONS WOODBURY LANE STA. 10+00 TO 17+00	MARCH 24, 2005
X2	ROADWAY CROSS SECTIONS WOODBURY LANE STA. 17+00 TO 23+80	MARCH 24, 2005
X3	ROADWAY CROSS SECTIONS WOODBURY LANE STA. 24+00 TO 33+00	MARCH 24, 2005
D1	SITE DETAILS	MARCH 24, 2005
D2	DRAINAGE AND EROSION CONTROL DETAILS	JUNE 14, 2006
D3	CONSTRUCTION DETAILS	MARCH 24, 2005
D4	ROADWAY CONSTRUCTION DETAILS	MARCH 24, 2005
D5	TEST PITS	JUNE 23, 2006
SD1-SD8	SEPTIC DESIGN PLANS	JUNE 23, 2006

REQUIRED PERMITS AND APPROVALS	PERMIT #	DATE APPROVED	EXPIRATION DATE
CHESTER SUBDIVISION NHDES SITE SPECIFIC NHDES WETLANDS DREDGE AND FILL	WPS-7418 2005-01365	DECEMBER 7, 2005 MARCH 13, 2006 APRIL 28, 2006	MARCH 13, 2008 APRIL 28, 2011

LAND OWNER OF RECORD:
Mill Pine Village, LLC
MILL PINE VILLAGE, LLC
DATE: 9/14/06

THIS PLAN SET CONTAINS A TOTAL OF 33 SHEETS. THE COVER SHEET & SHEET NUMBERS S1, S2, S5 & S6 ARE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS ARE ON FILE AT THE TOWN OF CHESTER'S PLANNING OFFICE, WHICH IN ITS ENTIRETY CONSTITUTE THE SUBDIVISION PLAN AS APPROVED BY THE PLANNING BOARD.

LAND SURVEYOR'S CERTIFICATION

I, TIMOTHY A. PELOQUIN, L.L.S., HEREBY CERTIFY THAT THIS PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC STREETS AND WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. A COPY OF THIS PLAN WILL BE FILED WITH THE TOWN OF CHESTER PLANNING BOARD PER THE RSA.
I FURTHER CERTIFY THAT THIS PLAN HAS AN ERROR OF CLOSURE NO GREATER THAN 1 FOOT IN 10,000 FEET.

THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO COMPLY WITH THE EPA NPDES CONSTRUCTION GENERAL PERMIT (CGP) FOR CONSTRUCTION ACTIVITIES GREATER THAN ONE ACRE. AS PART OF THE CGP, A NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION.
THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S) FOR THE IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC.

APPROVED BY THE TOWN OF FREMONT
PLANNING BOARD ON _____

SANDOWN PLANNING BOARD APPROVAL:
DATE: 9/11/06
CHAIRMAN: *[Signature]*
SECRETARY: _____

APPROVED BY THE TOWN OF CHESTER
PLANNING BOARD ON 9-14-06
[Signature] Vice-Chairman
[Signature] Plan. Comm.

IN ASSOCIATION WITH:

Promised Land Survey, LLC
25 Nashua Road, Suite B1
Londonderry, NH 03053
Tel: (603) 432-2112 Fax: (603) 432-8800
www.PromisedLandSurvey.com
Land Surveying • Wetlands • Planning • Permitting • Layout

TIMOTHY A. PELOQUIN
LAND SURVEYOR

REVISED FOR RECORDING	FINAL PLAN EDITS	CONSTRUCTION PLANS	REVISED PER ENGINEERING REVIEW	REVISED PER ENGINEERING REVIEW	REVISED PER TOWN REVIEW	REMOVED CLUSTERS 8 AND 9	REVISION DESCRIPTION
7 09-08-06	6 06-23-06	5 03-24-06	4 11-22-05	3 08-15-05	2 06-01-05	1 12-14-04	

PREPARED FOR:
MILL PINE VILLAGE, LLC
P.O. BOX 113
SANDOWN, NEW HAMPSHIRE 03873

DATE: NOVEMBER 1, 2004
JOB #: 02307

MAP 10 LOT 1
COVER SHEET
MILL PINE VILLAGE
WOODBURY LANE
CHESTER, NEW HAMPSHIRE

SCALE: AS SHOWN

CONSULTANTS: SUBLIME CIVIL ENGINEERS, INC.
6 West Broadway
Derry, NH 03038
PH: (603) 437-5777
FAX: (603) 437-6977
WWW.SUBLIMECIVIL.COM
Environmental Permitting
Construction Administration
Construction Design • Lighting Design

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GRADING NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND AN APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT NEW HAMPSHIRE DIG SAFE, AT 1-888-DIG-SAFE, AT LEAST 72 HOURS BEFORE DIGGING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THESE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. THE PROVIDED DETAILS AND PROVISIONS SERVE AS A GUIDE ONLY.
3. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
4. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING STORMWATER FLOW TO THEM.
5. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES:

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

1. INSTALLATION OF STRAW BALES, CHECK DAMS, DANDY BAGS, CONSTRUCTION ENTRANCE AND SILTATION FENCES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
2. STRAW BALES, CHECK DAMS, DANDY BAGS, CONSTRUCTION ENTRANCE AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
4. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, AND SHALL AT NO TIME EXCEED MORE THAN TWO ACRES OF LAND. NO AREAS OF LAND SHALL BE LEFT DISTURBED FOR MORE THAN 30 DAYS. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
5. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - i) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - ii) A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
 - iii) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - iv) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
5. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4.0" OF LOAM INSTALLED WITH NOT LESS THAN 1.1 POUNDS OF SEED MIX PER 1,000 SQUARE FEET. SEED MIXTURE SHALL BE:

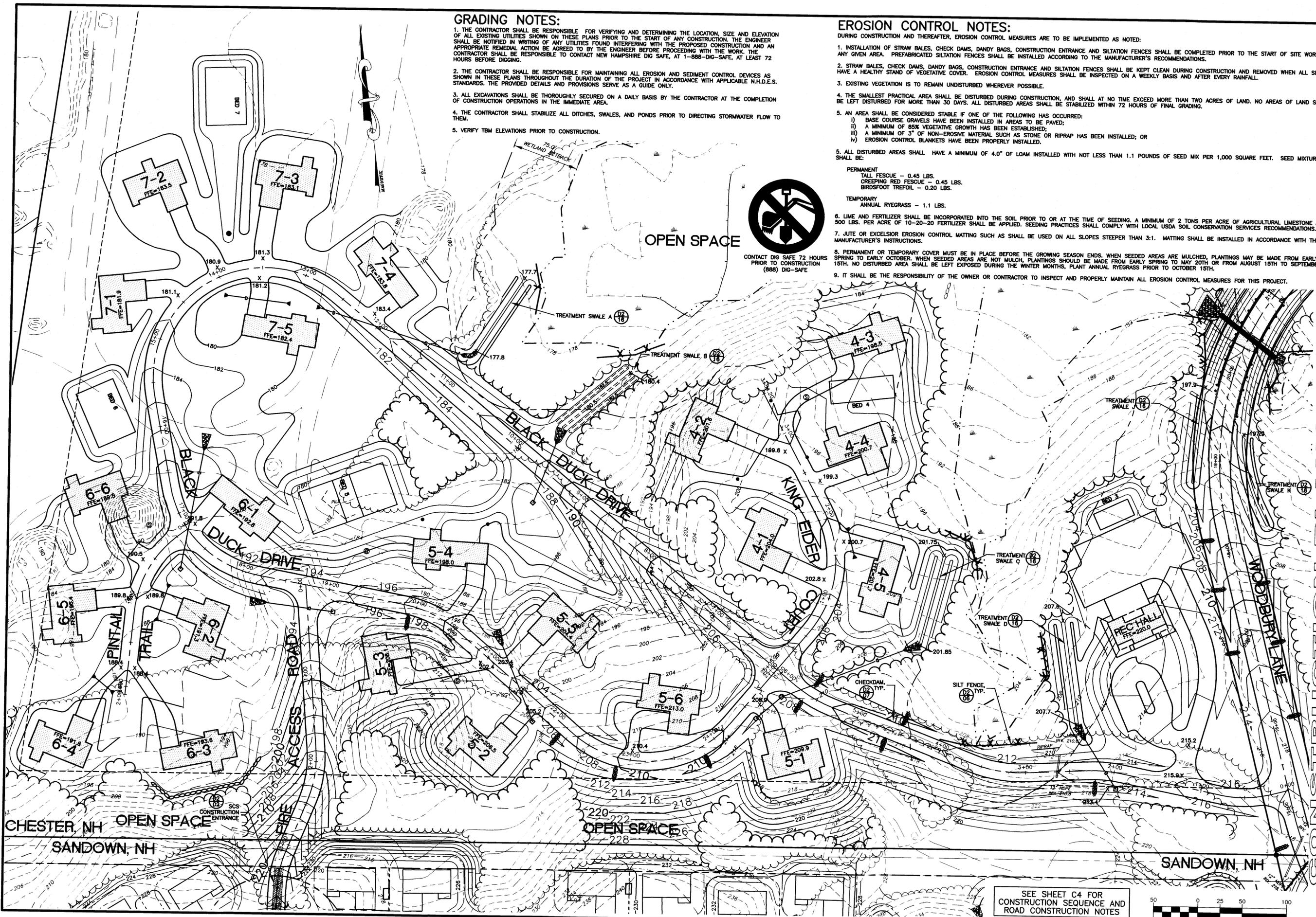
PERMANENT
TALL FESCUE - 0.45 LBS.
CREEPING RED FESCUE - 0.45 LBS.
BIRDSFOOT TREFLOIL - 0.20 LBS.

TEMPORARY
ANNUAL RYEGRASS - 1.1 LBS.
6. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
7. JUTE OR EXCELSIOR EROSION CONTROL MATTING SUCH AS SHALL BE USED ON ALL SLOPES STEEPER THAN 3:1. MATTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
8. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCH, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20TH OR FROM AUGUST 15TH TO SEPTEMBER 15TH. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS, PLANT ANNUAL RYEGRASS PRIOR TO OCTOBER 15TH.
9. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO INSPECT AND PROPERLY MAINTAIN ALL EROSION CONTROL MEASURES FOR THIS PROJECT.

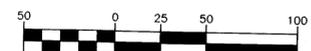


CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION (888) DIG-SAFE

OPEN SPACE



SEE SHEET C4 FOR CONSTRUCTION SEQUENCE AND ROAD CONSTRUCTION NOTES



NO.	DATE	REVISION DESCRIPTION
7	06-23-06	REVISED SEPTIC DESIGN
6	03-24-06	CONSTRUCTION PLANS
5	3-6-06	REVISED PER NIDES REVIEW
4	2-14-06	REVISED PER SEPTIC DESIGN
3	11-22-05	REVISED PER ENGINEERING REVIEW
2	08-19-05	REVISED PER ENGINEERING REVIEW
1	108-01-05	REVISED PER TOWN REVIEW

6 West Broadway
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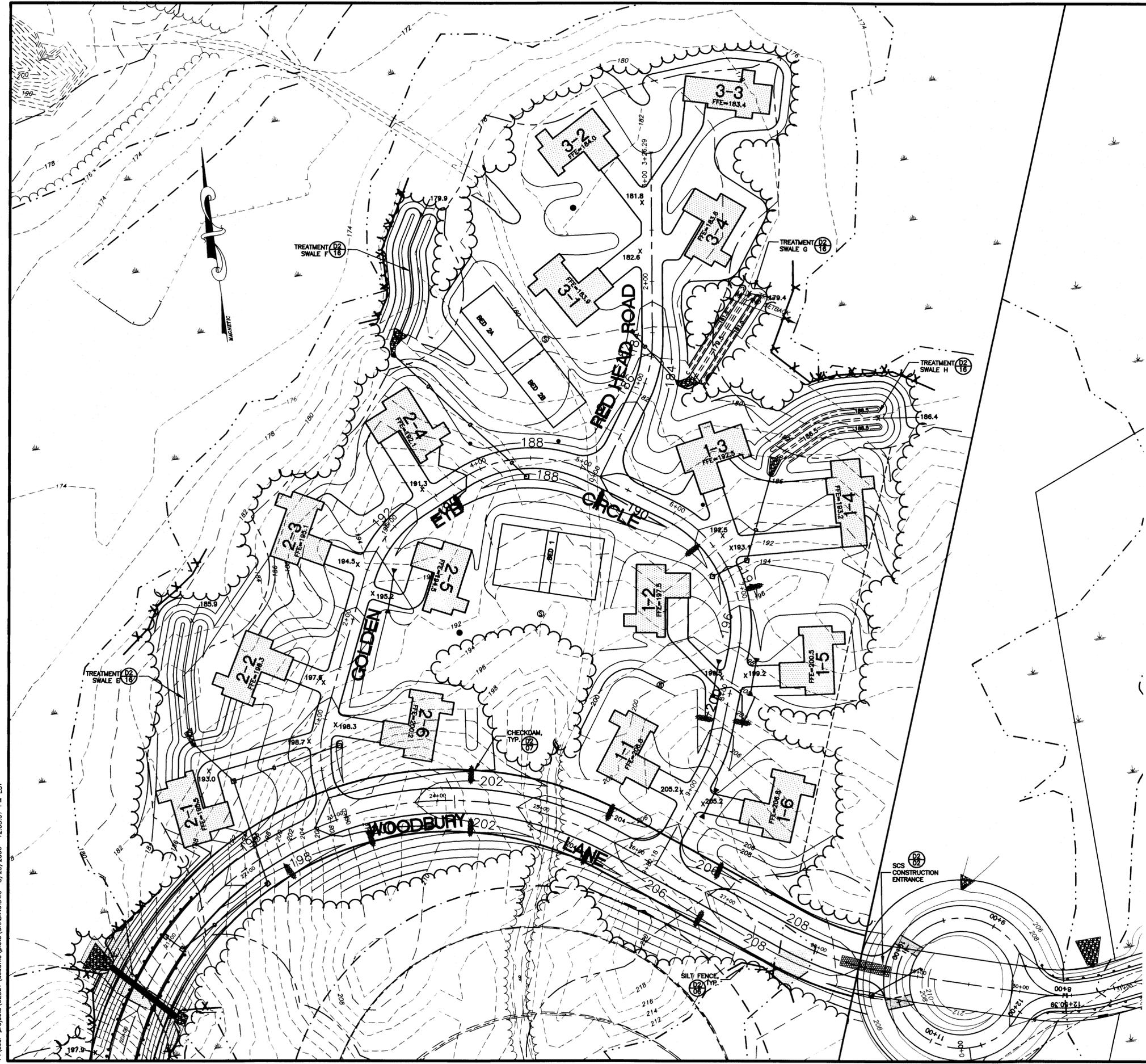
PREPARED FOR:
MILL PINE VILLAGE, LLC
P.O. BOX 113
SANDOWN, NEW HAMPSHIRE 03873

MAP 10 LOT 1
GRADING PLAN
MILL PINE VILLAGE
WOODBURY LANE
CHESTER, NEW HAMPSHIRE

DATE: NOVEMBER 1, 2004
JOB #: 02307
SCALE: 1"=50'

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CONSTRUCTION SEQUENCE NOTES:

1. INSTALL STRAW BALES, CHECK DAMS, DANDY BAGS, CONSTRUCTION ENTRANCE AND SILTATION FENCE IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
2. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A DAILY BASIS.
3. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE OF THE WORK AREA. SILT FENCES, CHECK DAMS AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
4. CUT AND CLEAR TREES; DISPOSE OF DEBRIS.
5. STRIP AND STOCKPILE TOPSOIL. TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION.
6. CONSTRUCT ALL DITCHES, SWALES AND DETENTION BASINS.
7. ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE STABILIZED PRIOR TO DIRECTING ANY FLOW INTO THEM.
8. ROUGH GRADE SITE OR PHASED WORK AREA. DISTURBED AREAS SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
9. INSTALL DRAINAGE STRUCTURES, CULVERTS, HEADWALLS, RIP RAP APRONS, AND OTHER DRAINAGE FACILITIES.
10. INSTALL ALL UNDERGROUND UTILITIES.
11. CONSTRUCT BUILDING.
12. FINISH GRADING TO PREPARE FOR PAVEMENT, LOAMING AND SEEDING. ALL DISTURBED AREA SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
13. FINISH PAVING ALL PARKING AREA AND DRIVES.
14. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF DRIVE AND PARKING AREA PAVING.
15. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
16. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED AND HAVE A HEALTHY VEGETATIVE COVER.
17. CLEAN ALL DRAINAGE STRUCTURE SUMPS OF SEDIMENT AND DEBRIS (INCLUDES ALL STRUCTURES WITHIN THE LIMIT OF WORK).
18. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED VEGETATED AREAS WHICH HAVE NOT ESTABLISHED A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL MATTING. THE INSTALLATION OF EROSION CONTROL MATTING OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH HAVE NOT ESTABLISHED A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL MATTING APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECT WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

SEE SHEET C3 FOR GRADING & EROSION CONTROL NOTES



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION (888) DIG-SAFE

NO.	DATE	REVISION DESCRIPTION
6	06-23-06	REVISED SEPTIC DESIGN
5	03-24-06	CONSTRUCTION PLANS
4	02-14-06	REVISED PER SEPTIC DESIGN
3	11-22-05	REVISED PER ENGINEERING REVIEW
2	08-15-05	REVISED PER ENGINEERING REVIEW
1	06-01-05	REVISED PER TOWN REVIEW



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PREPARED FOR:
MILL PINE VILLAGE, LLC
P.O. BOX 113
SANDOWN, NEW HAMPSHIRE 03873

DATE: NOVEMBER 1, 2004
JOB #: 02307

MAP 10 LOT 1
GRADING PLAN
MILL PINE VILLAGE
WOODBURY LANE
CHESTER, NEW HAMPSHIRE

SHEET # C4
SCALE: 1"=50'

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CONSTRUCTION PLANS