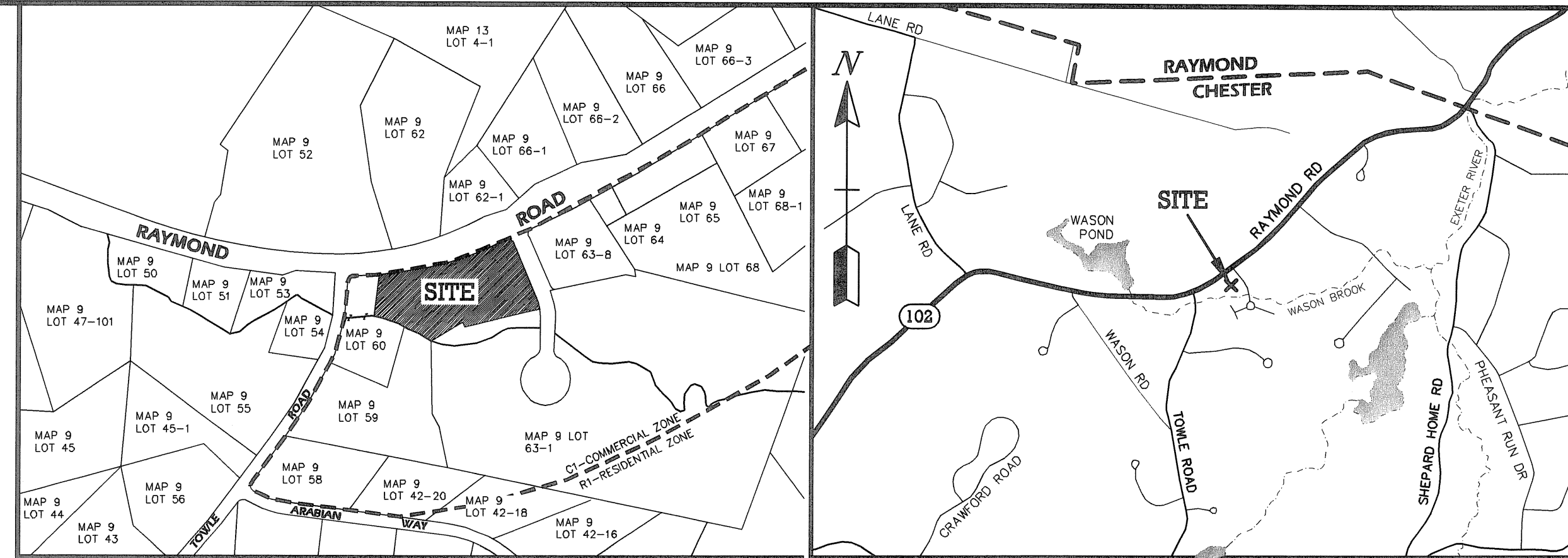


FARRS AUTO REPAIR

680 RAYMOND ROAD
CHESTER, NH 03036



PLAN INDEX	SHEET NO
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
SITE PLAN	3
GRADING & UTILITIES PLAN	4
LANDSCAPE & LIGHTING PLAN	5
INDIVIDUAL SEWERAGE SYSTEM PLAN	6
DETAIL SHEETS	7-8

VICINITY MAP
1"=±500'

LOCUS MAP
1"=±2,000'

NOTES:

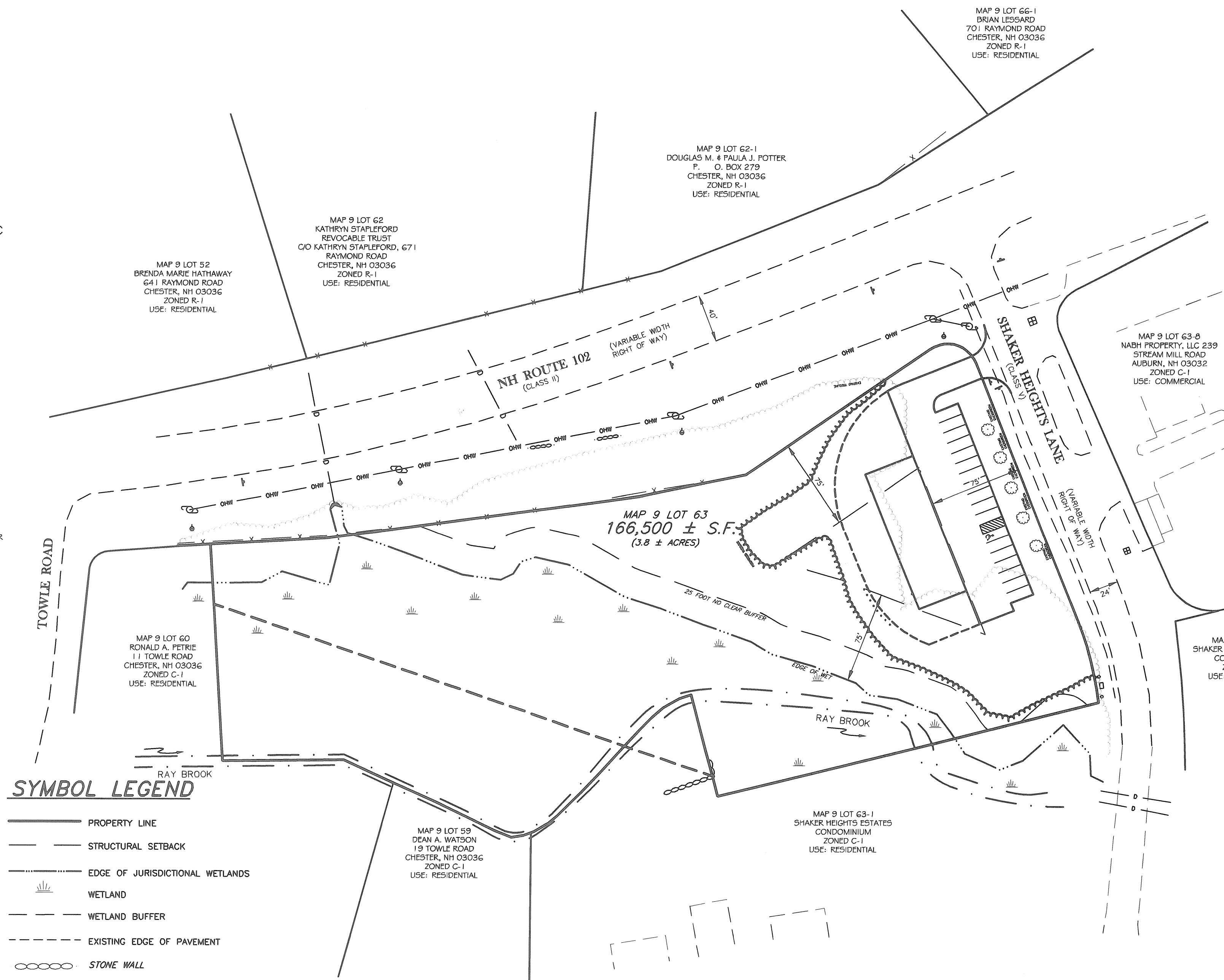
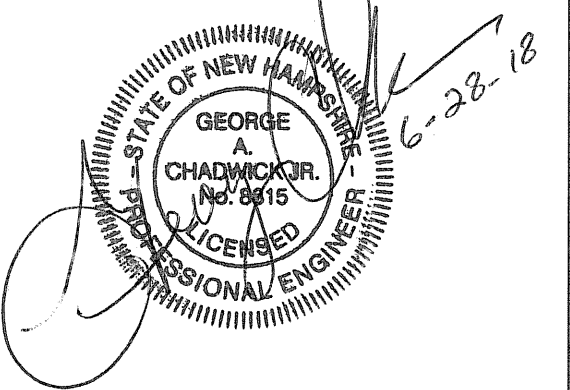
- OWNERS OF RECORD:
TAX MAP 9 LOT 63
EDEL BARRED PROPERTIES, LLC
40 GIGNANTE DRIVE
HAMPSTEAD, NH 03841
DEED BK: 5862 PG: 1256
- THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A 5,040 S.F. SINGLE STORY RESIDENTIAL & AUTOMOTIVE REPAIR BUILDING WITH ACCESS DRIVES AND ASSOCIATED PARKING.
- THIS PLAN IS A RESULT OF A FIELD SURVEY PERFORMED BY BEDFORD DESIGN CONSULTANTS IN NOVEMBER 2017.
- TOTAL AREA OF PARCEL: 166,500 ± S.F. (3.8 ± ACRES)
- THIS PARCEL IS ZONED: C1 - COMMERCIAL
- DIMENSIONAL STANDARDS

	REQUIRED	PROPOSED
MIN. LOT AREA	2 AC.	3.8 AC.
MIN. FRONTAGE	290'	971.19'
MAX. BUILDING HEIGHT	30'	25'
FRONT STRUCTURE SETBACK	75'	76' (SHAKER HEIGHTS)
SIDE & REAR SETBACK	50'	110'/200'
MAX. IMPERVIOUS SURFACE	40%	11%
WETLAND SETBACKS - BUILDING	75'	76'
SEPTIC WELL	25'	85'
NO CLEAR	25'	46'
		25'+

*SEE VARIANCE NOTE 15

- PARKING REQUIREMENTS: (9'x20' SPACES WITH 30' AISLES)
AUTOMOTIVE REPAIR - 5 BAYS @ 4 SP./BAY = 20 SPACES
RESIDENTIAL DWELLING UNIT = 2 SPACES
TOTAL REQUIRED = 22 SPACES
TOTAL PROPOSED = 25 SPACES
(INCL. 1 HANDICAP, 5 BAY SPACES & 2 RESIDENTIAL GARAGE SPACES)
- NO WELLS OR SEPTIC SYSTEMS ARE WITHIN 100 FT OF PARCEL.
- WASTE DISPOSAL SHALL BE PROVIDED BY OWNER AND WASTE TO BE STORED INSIDE STRUCTURE.
- SITE LIGHTING: DOWN CAST CUT-OFF LUMINAIRES SHALL BE PROVIDED AS SHOWN ON THE SITE DETAILS AND LIGHTING PLAN IN ACCORDANCE WITH THE TOWN OF CHESTER ZONING ARTICLE 15 OUTDOOR LIGHTING REGULATIONS.
- SITE SIGNAGE WILL COMPLY WITH THE CHESTER REGULATIONS.
- ELECTRICAL/TELEPHONE/CABLE SERVICES WILL BE PROVIDED BY THE APPROPRIATE UTILITIES, AND SHALL BE INSTALLED BY THE DEVELOPER. ALL UTILITIES SHALL BE UNDERGROUND.
- THE SUBJECT PROPERTY IS NOT WITHIN THE 100-YR FLOOD PLAIN AS PER THE LFLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY NEW HAMPSHIRE COMMUNITY PANEL 355 OF 681. MAP NUMBER 33015C0355E, EFFECTIVE MAY 17, 2009.
- THE SITE IS SERVED BY ON-SITE WELL AND ON-SITE SEWAGE DISPOSAL SYSTEM.
- ON MAY 15, 2018 THE CHESTER ZONING BOARD OF ADJUSTMENT GRANTED TWO VARIANCES:
 - SUBSECTION 5.4.4 (TABLE 1) - PARKING WITHIN FRONT SETBACK TO SHAKER HEIGHTS AND RAYMOND ROAD WHERE 75 FT IS REQUIRED.
 - SUBSECTION 5.4.4 (TABLE 1) - CONSTRUCT 42x120 MIXED USE BUILDING 55 FT FROM RAYMOND ROAD WHERE 75 FT IS REQUIRED.

- THE FOLLOWING PERMITS WERE OBTAINED FOR THIS PROJECT:
NHDES SEPTIC SYSTEM APPROVAL PERMIT NO. #CA2018050304, DATED MAY 3, 2018 (EXPIRES MAY 3, 2022).
- THE FOLLOWING WAIVERS ARE REQUIRED:
???
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE TOWN OF CHESTER REQUIREMENTS TO THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF CHESTER SITE PLAN REGULATIONS AND THE LATEST ADDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF CHESTER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS AND OBTAINING ALL NECESSARY APPROVALS AND CERTIFICATE OF OCCUPANCY.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADES.
- HOURS OF OPERATION AT 8:00 A.M. TO 5:00 P.M.
- HOURS OF CONSTRUCTION 6:00 A.M. TO 6:00 P.M. MONDAY THROUGH SATURDAY.
- PLOWED SNOW FROM THE FACILITIES DRIVEWAY AND PARKING LOT SHALL BE STORED IN THE DESIGNATED AREA SHOWN IN THIS PLAN SET. WHEN SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
- THIS PLAN SET CONTAINS 8 SHEETS. THE ENTIRE SET IS ON FILE AT THE CHESTER PLANNING DEPARTMENT.
- OWNER TO REMOVE/CONTROL VEGETATION AND FOREVER MAINTAIN AS NECESSARY TO PROVIDE NECESSARY SAFE SIGHT DISTANCE.



SYMBOL LEGEND

- PROPERTY LINE
- STRUCTURAL SETBACK
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND
- WETLAND BUFFER
- EXISTING EDGE OF PAVEMENT
- STONE WALL
- STONE BOUND FOUND
- STONE BOUND TO BE SET
- PROPOSED RAILROAD SPIKE
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING FENCE

SCALE: 1"=60'



GRAPHIC SCALE

APPROVED BY THE CHESTER, NH

PLANNING BOARD ON: _____

CERTIFIED BY: _____

CHAIRMAN: _____

SECRETARY: _____

OWNER'S SIGNATURE _____ DATE 6-27-18

TAX MAP 9 LOT 63

COVER SHEET
FARRS AUTO REPAIR

LOCATED AT:
680 RAYMOND ROAD
CHESTER, NEW HAMPSHIRE

OWNERS:
EDEL BARRED PROPERTIES, LLC
c/o JOHNATHAN FARR
40 GIGNANTE DRIVE
HAMPSTEAD, N.H. 03841

SCALE: AS SHOWN	MAY 18, 2018	SHEET 1 OF 8
DESIGN: GAC	DRAWN: JST	CHECKED: GAC
FB: 602	PG: 11	1460-01

Bedford Design Consultants, Inc.
ENGINEERS AND SURVEYORS
177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com



PLAN REFERENCES

- "MAP 9 LOTS 63-1 THRU 7, 63-9, 63-10, & 63-11, LOT LINE ADJUSTMENT, LOT CONSOLIDATION & RE-SUBDIVISION PLAN, SHAKER HEIGHTS ESTATES CONDOMINIUM, SHAKER HEIGHTS LAND, CHESTER, NEW HAMPSHIRE", DATED JULY 25, 2002, LAST REVISED 11-17-2004, PREPARED BY CORNERSTONE SURVEY ASSOCIATES INC., RCRD PLAN NO. 32213.
- "SUBDIVISION PLAT OF TAX LOT 9-63, OWNER OF RECORD: RAYMOND REMILLARD", DATED JUNE 15, 1977, PREPARED BY B.V. PEARSON ASSOCIATES, RCRD PLAN NO. 6955.
- "SUBDIVISION PLAT OF TAX LOT 9-63, OWNER OF RECORD: RAYMOND REMILLARD", DATED OCTOBER 19, 1977, PREPARED BY B.V. PEARSON ASSOCIATES, RCRD PLAN NO. 7355.
- "STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS, R.O.W. PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT S 29 (7) N.H. PROJECT NO. P-1428, DERRY - RAYMOND ROAD, RCRD PLAN NO. 2923.



MAP 9 LOT 52
BRENDA MARIE HATHAWAY
641 RAYMOND ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

MAP 9 LOT 62
KATHRYN STAPLEFORD
REVOCABLE TRUST
C/O KATHRYN STAPLEFORD, 671
RAYMOND ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

MAP 9 LOT 62-1
DOUGLAS M. & PAULA J. POTTER
P. O. BOX 279
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

MAP 9 LOT 60
RONALD A. PETRIE
11 TOWLE ROAD
CHESTER, NH 03036
ZONED C-1
USE: RESIDENTIAL

MAP 9 LOT 60
RONALD A. PETRIE
11 TOWLE ROAD
CHESTER, NH 03036
ZONED C-1
USE: RESIDENTIAL

MAP 9 LOT 59
DEAN A. WATSON
19 TOWLE ROAD
CHESTER, NH 03036
ZONED C-1
USE: RESIDENTIAL

MAP 9 LOT 63-1
SHAKER HEIGHTS ESTATES
CONDOMINIUM
ZONED C-1
USE: RESIDENTIAL

MAP 9 LOT 63-8
NABH PROPERTY, LLC 239
STREAM MILL ROAD
AUBURN, NH 03032
ZONED C-1
USE: COMMERCIAL

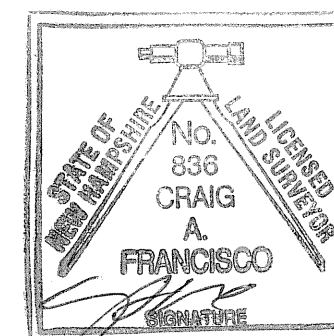
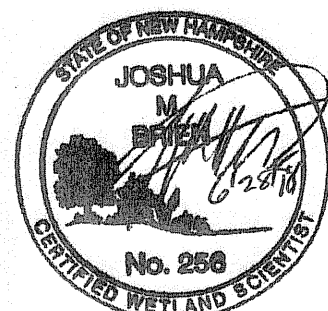
MAP 9 LOT 63-1
SHAKER HEIGHTS ESTATES
CONDOMINIUM
ZONED C-1
USE: RESIDENTIAL

SOIL MAPPING LEGEND

314A PIPESTONE SAND, 0-5% SLOPES.
299 UDORTHENTS, SMOOTH

WETLAND CERTIFICATION

JOSHUA M. BRIEN, CERTIFIED WETLAND SCIENTIST #256 OF BEDFORD DESIGN CONSULTANTS, INC. PERFORMED THE WETLAND MAPPING IN NOVEMBER 2017 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



SURVEY CERTIFICATION

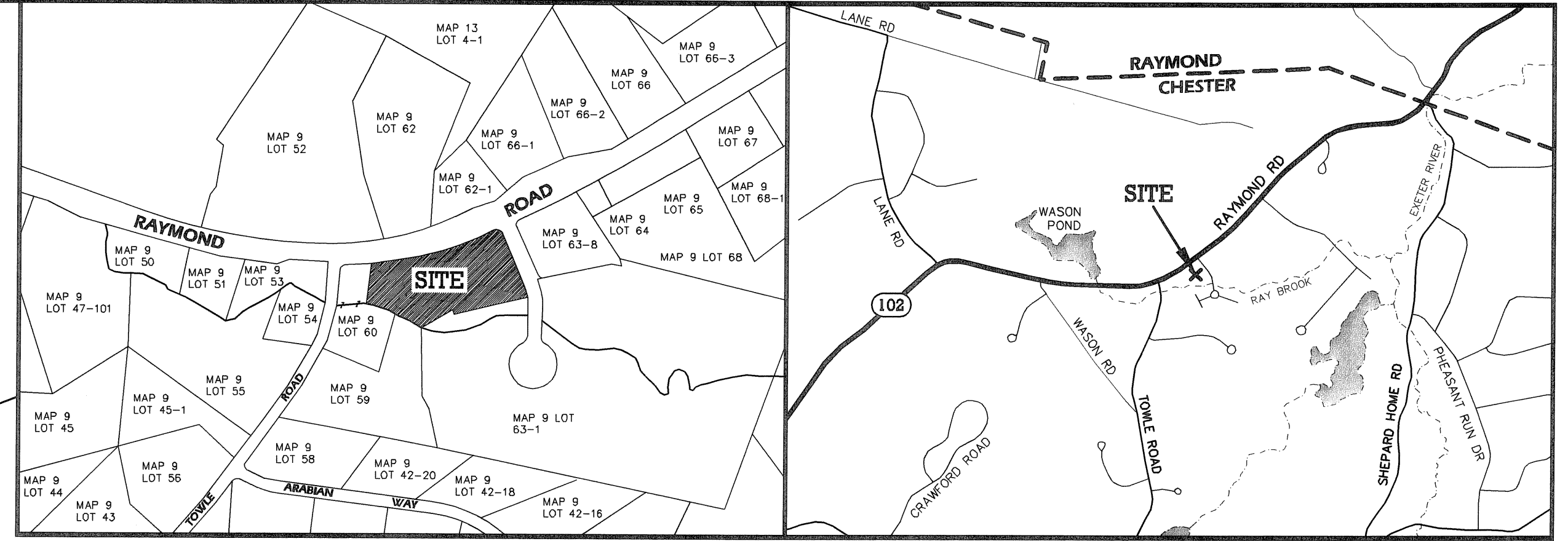
"I HEREBY CERTIFY THAT THIS SURVEY AND SURVEY PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION."

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

6-28-15
LICENSED LAND SURVEYOR

DATE

DATE	DESCRIPTION	BY	REV.



VICINITY MAP

1"=±500'

LOCUS MAP

1"=±2,000'

NOTES

- OWNERS OF RECORD: EDEL BARRED PROPERTIES, LLC
40 GIGANTE DRIVE
HAMPSHIRE, NH 03841
DEED BK: 5862 PG: 1256
 - TOTAL AREA OF PARCEL: 166,500 ± S.F. (3.8 ± ACRES)
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 9 LOT 63.
 - ZONE: C-1 - COMMERCIAL
 - DIMENSIONAL STANDARDS
- | | REQUIRED |
|-----------------------------|----------|
| MIN. LOT AREA | 2 ACRE |
| MIN. FRONTAGE | 290' |
| MAX. BUILDING HEIGHT | 30' |
| FRONT STRUCTURE SETBACK | 75' |
| SIDE & REAR SETBACK | 50' |
| MAX. IMPERVIOUS SURFACE | 40% |
| WETLAND SETBACKS - BUILDING | 75' |
| SEPTIC | 75' |
| WELL | 25' |
| NO CLEAR | 25' |
- THE SUBJECT PROPERTY IS NOT WITHIN THE 100-YR FLOOD PLAIN AS PER THE FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY NEW HAMPSHIRE COMMUNITY PANEL 355 OF 681, MAP NUMBER 33015C0355E, EFFECTIVE DATE MAY 17, 2005.
 - THIS PLAN IS THE RESULT OF FIELD SURVEYS PERFORMED BY BEDFORD DESIGN CONSULTANTS IN NOVEMBER 2017. THE VERTICAL DATUM IS NGVD 1988.
 - THERE ARE NO EASEMENTS NOTED IN THE SUBJECT DEED.
 - THIS OFFICE HAS NOT LOCATED ANY UNDERGROUND UTILITIES. ALWAYS CALL DIGSAFE PRIOR TO ANY EXCAVATION.

ADDITIONAL ABUTTERS WITHIN 300 FT

TAX MAP 9 LOT 53
GEORGE & MICHELE GEER
648 RAYMOND ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

TAX MAP 9 LOT 66-1
BRIAN LESSARD
701 RAYMOND ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

TAX MAP 9 LOT 54
DENNIS STRANDELL
14 TOWLE ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

SYMBOL LEGEND

EXISTING TREELINE	CATCH BASIN
OHW - OVERHEAD ELECTRIC WIRE	UTILITY POLE
D - DRAIN LINE	GUY WIRE
WETLAND	IRON PIPE FOUND
STONE WALL	STONE BOUND FOUND
WETLAND SYMBOL	STONE BOUND TO BE SET
SLOPES 15%+	PROPOSED RAILROAD SPIKE

TAX MAP 9 LOT 63

EXISTING CONDITIONS PLAN FARRS AUTO REPAIR

LOCATED AT:

680 RAYMOND ROAD
CHESTER, NEW HAMPSHIRE

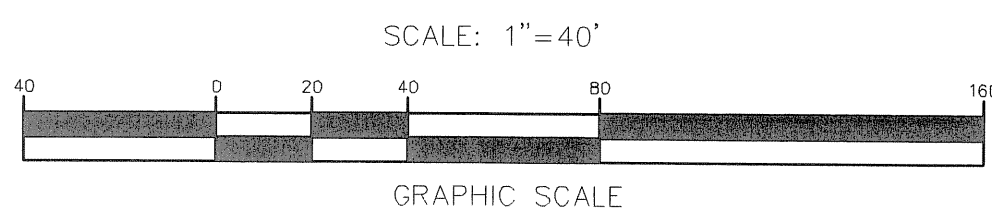
OWNERS:
EDEL BARRED PROPERTIES, LLC
c/o JOHNATHAN FARR
40 GIGANTE DRIVE
HAMPSHIRE, N.H. 03841

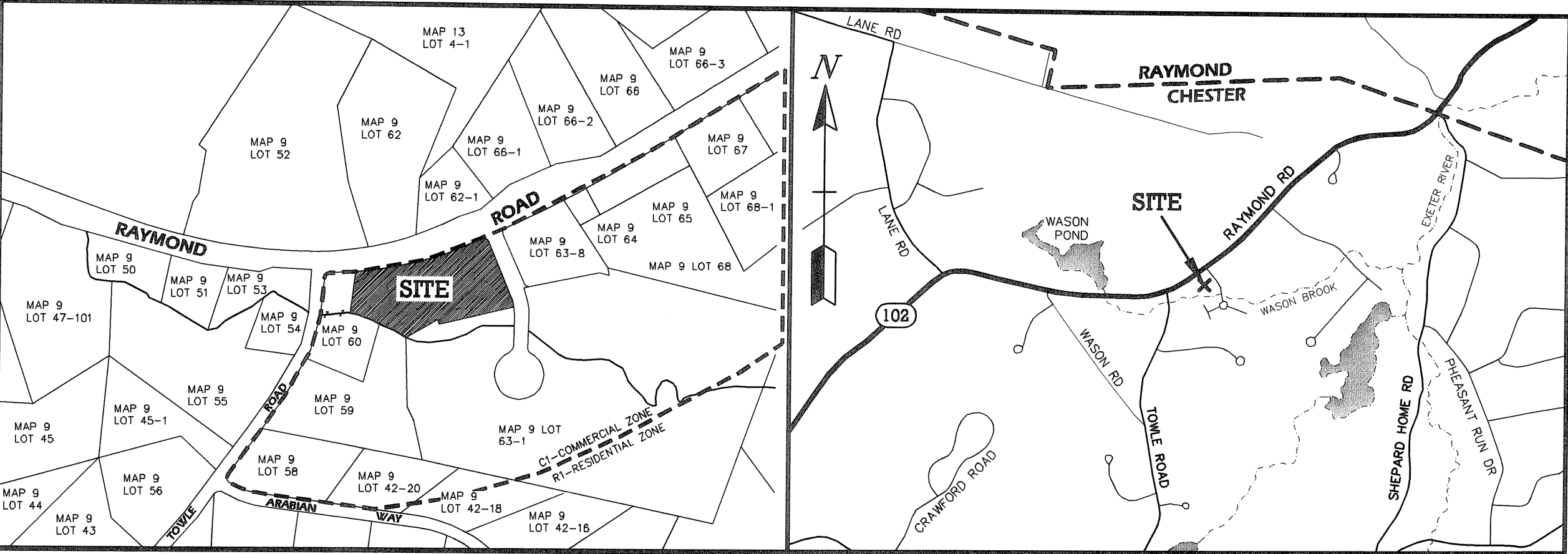
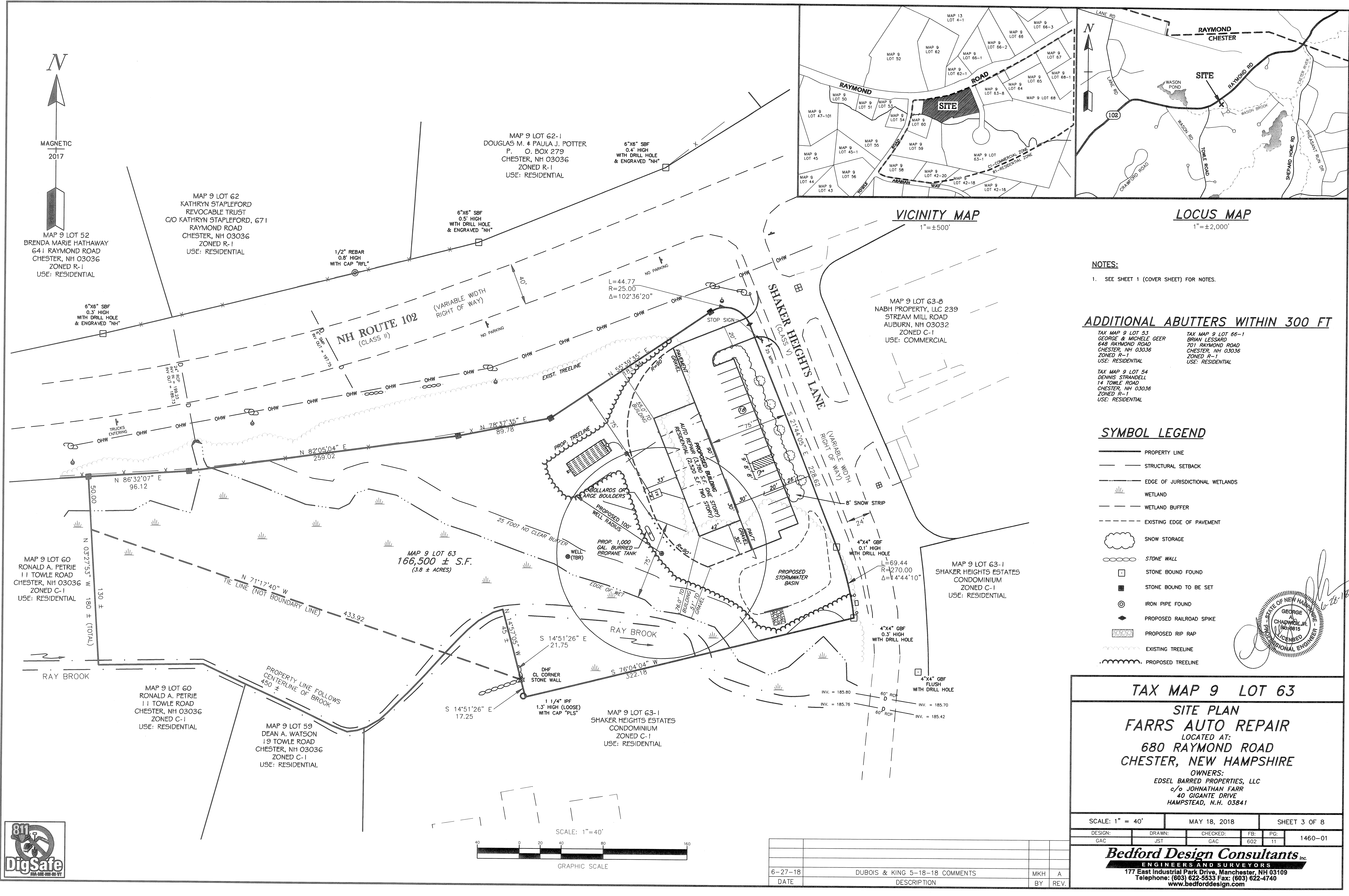
SCALE: 1" = 40' MAY 18, 2018 SHEET 2 OF 7

DESIGN: CAF	DRAWN: MDM	CHECKED: CAF	FB: 602	PG: 17	1460-01
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NOTES:

1. SEE SHEET 1 (COVER SHEET) FOR NOTES.

ADDITIONAL ABUTTERS WITHIN 300 FT

TAX MAP 9 LOT 53
GEORGE & MICHELE GEER
648 RAYMOND ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

TAX MAP 9 LOT 66-1
BRIAN LESSARD
701 RAYMOND ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

TAX MAP 9 LOT 54
DENNIS STRANDELL
14 TOWLE ROAD
CHESTER, NH 03036
ZONED R-1
USE: RESIDENTIAL

- SYMBOL LEGEND**
- PROPERTY LINE
 - STRUCTURAL SETBACK
 - EDGE OF JURISDICTIONAL WETLANDS
 - WETLAND
 - WETLAND BUFFER
 - EXISTING EDGE OF PAVEMENT
 - SNOW STORAGE
 - STONE WALL
 - STONE BOUND FOUND
 - STONE BOUND TO BE SET
 - IRON PIPE FOUND
 - PROPOSED RAILROAD SPIKE
 - PROPOSED RIP RAP
 - EXISTING TREELINE
 - PROPOSED TREELINE

TAX MAP 9 LOT 63

SITE PLAN

FARRS AUTO REPAIR

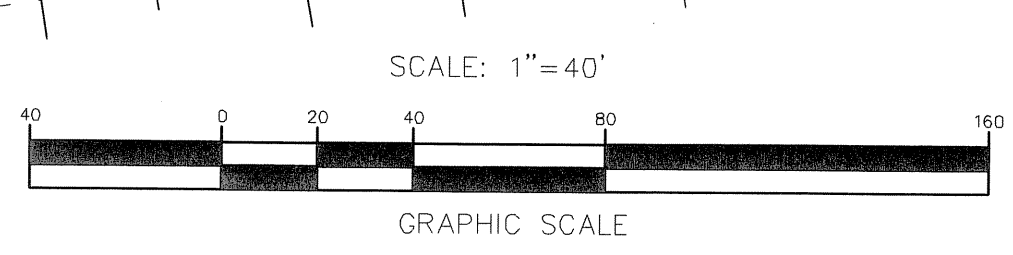
LOCATED AT:
680 RAYMOND ROAD
CHESTER, NEW HAMPSHIRE

OWNERS:
EDEL BARRED PROPERTIES, LLC
c/o JOHNATHAN FARR
40 GIGANTE DRIVE
HAMPSTEAD, N.H. 03841

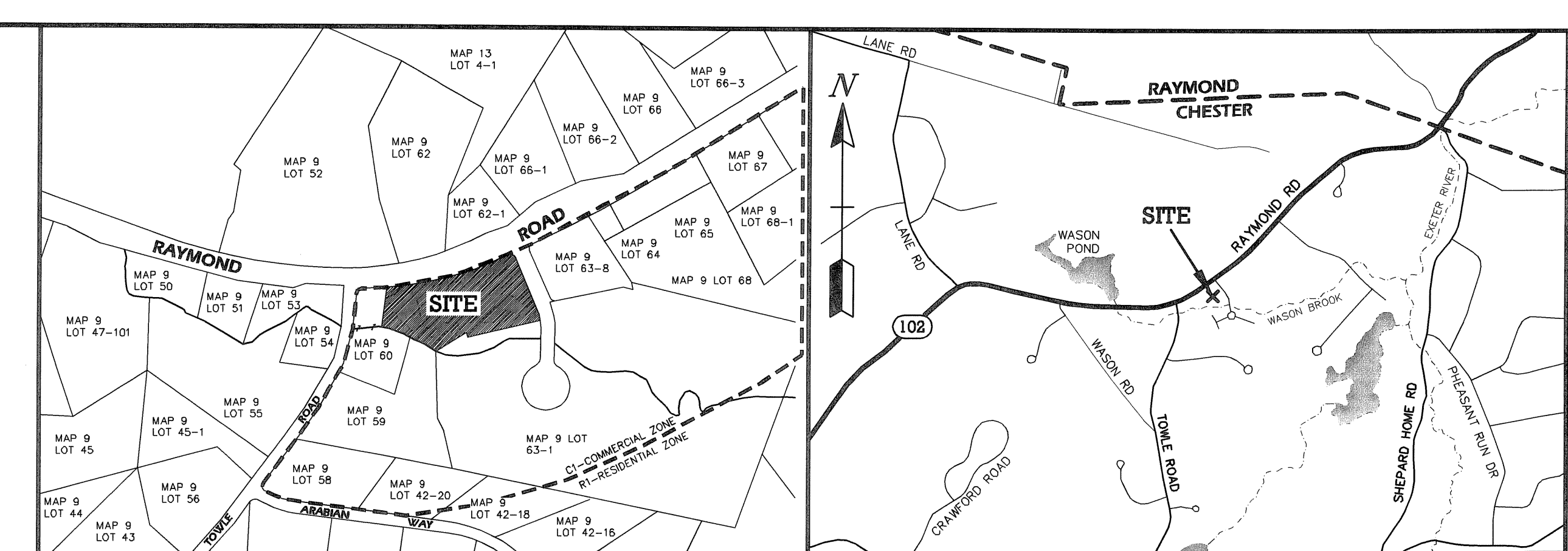
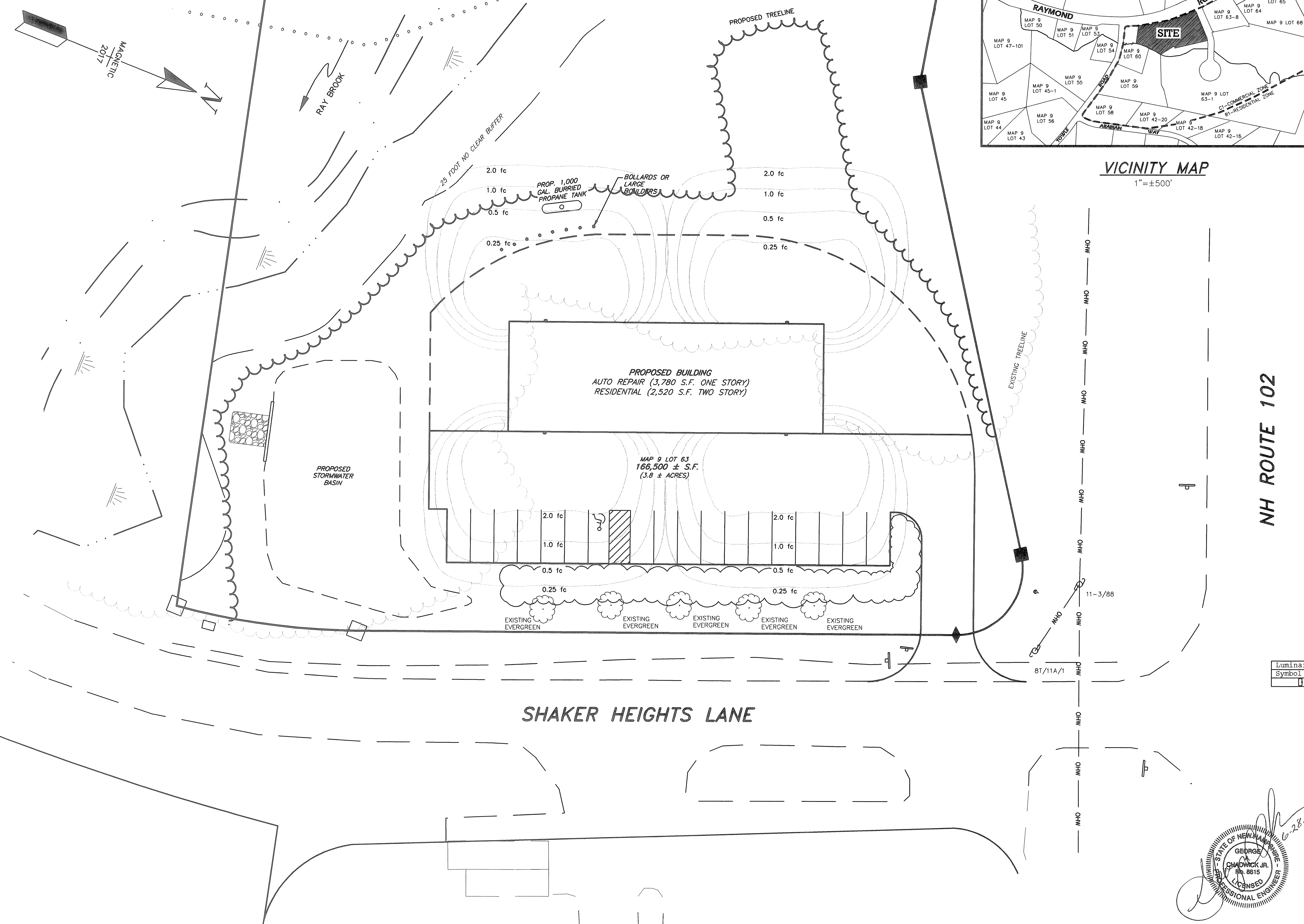
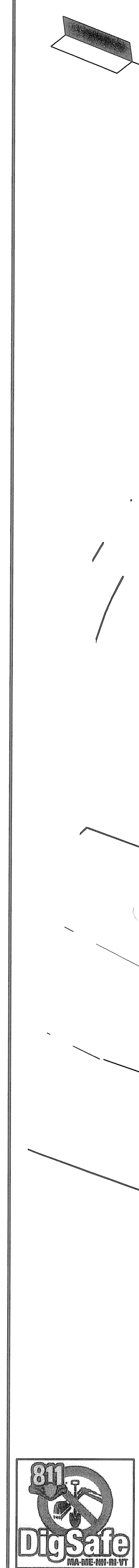
SCALE: 1" = 40' MAY 18, 2018 SHEET 3 OF 8

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
GAC	JST	GAC	602	11	1460-01

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6-27-18	DUBOIS & KING 5-18-18 COMMENTS	MKH	A
DATE	DESCRIPTION	BY	REV.



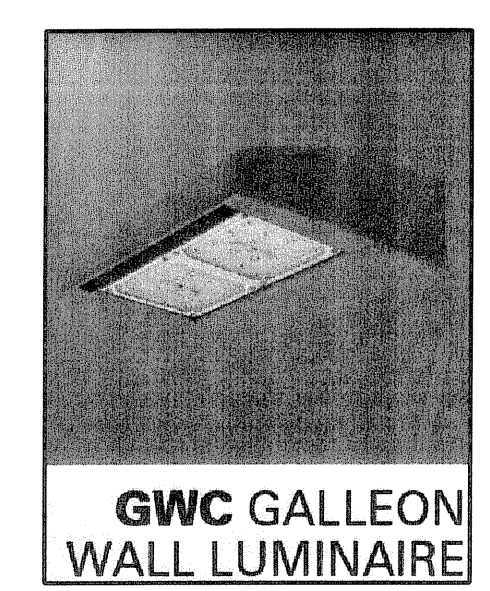
VICINITY MAP
1"=±500'

LOCUS MAP
1"=±2,000'

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LANDSCAPING AND LIGHTING FOR THIS SITE.
 - MINIMUM STANDARDS FOR LANDSCAPING IN A COMMERCIAL DEVELOPMENT SHALL BE:
REQUIRED: 1 TREE AND 2 SHRUBS/5,000 SF
165,500 SF/5,000 SF = 33.1 TREES REQUIRED
66.2 SHRUBS REQUIRED
PROPOSED: 5 EXISTING EVERGREEN TREES + APPROX. 65,933 SF OF EXISTING WOODED AREA TO REMAIN BEHIND THE PROPOSED BUILDING.

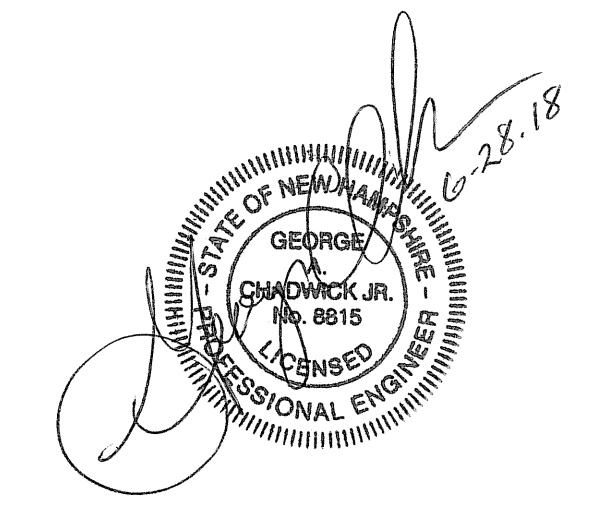
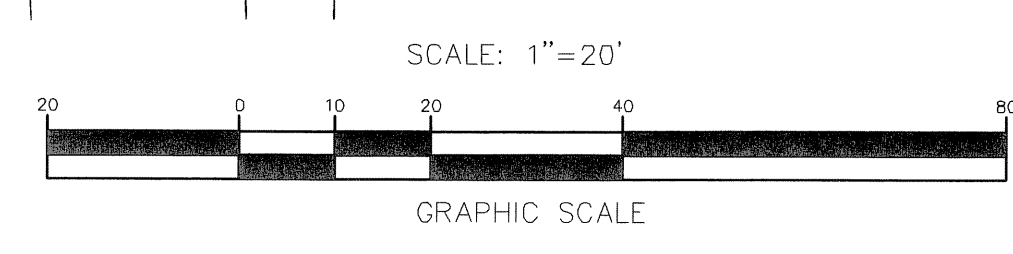
SYMBOL LEGEND

- PROPERTY LINE
- STRUCTURAL SETBACK
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND
- WETLAND BUFFER
- EXISTING EDGE OF PAVEMENT
- SNOW STORAGE
- STONE WALL
- STONE BOUND FOUND
- STONE BOUND TO BE SET
- IRON PIPE FOUND
- PROPOSED RAILROAD SPIKE
- PROPOSED RIP RAP
- EXISTING TREELINE
- PROPOSED TREELINE



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
W	4	W	SINGLE	GWC-AF-02-LED-E1-SL4/ WALL MTD 15' ARG

SHAKER HEIGHTS LANE



TAX MAP 9 LOT 63

LANDSCAPE & LIGHTING PLAN

FARRS AUTO REPAIR

LOCATED AT:
680 RAYMOND ROAD
CHESTER, NEW HAMPSHIRE

OWNERS:
EDSEL BARRED PROPERTIES, LLC
c/o JOHNATHAN FARR
40 GIGANTE DRIVE
HAMPSTEAD, N.H. 03841

SCALE: 1" = 20'

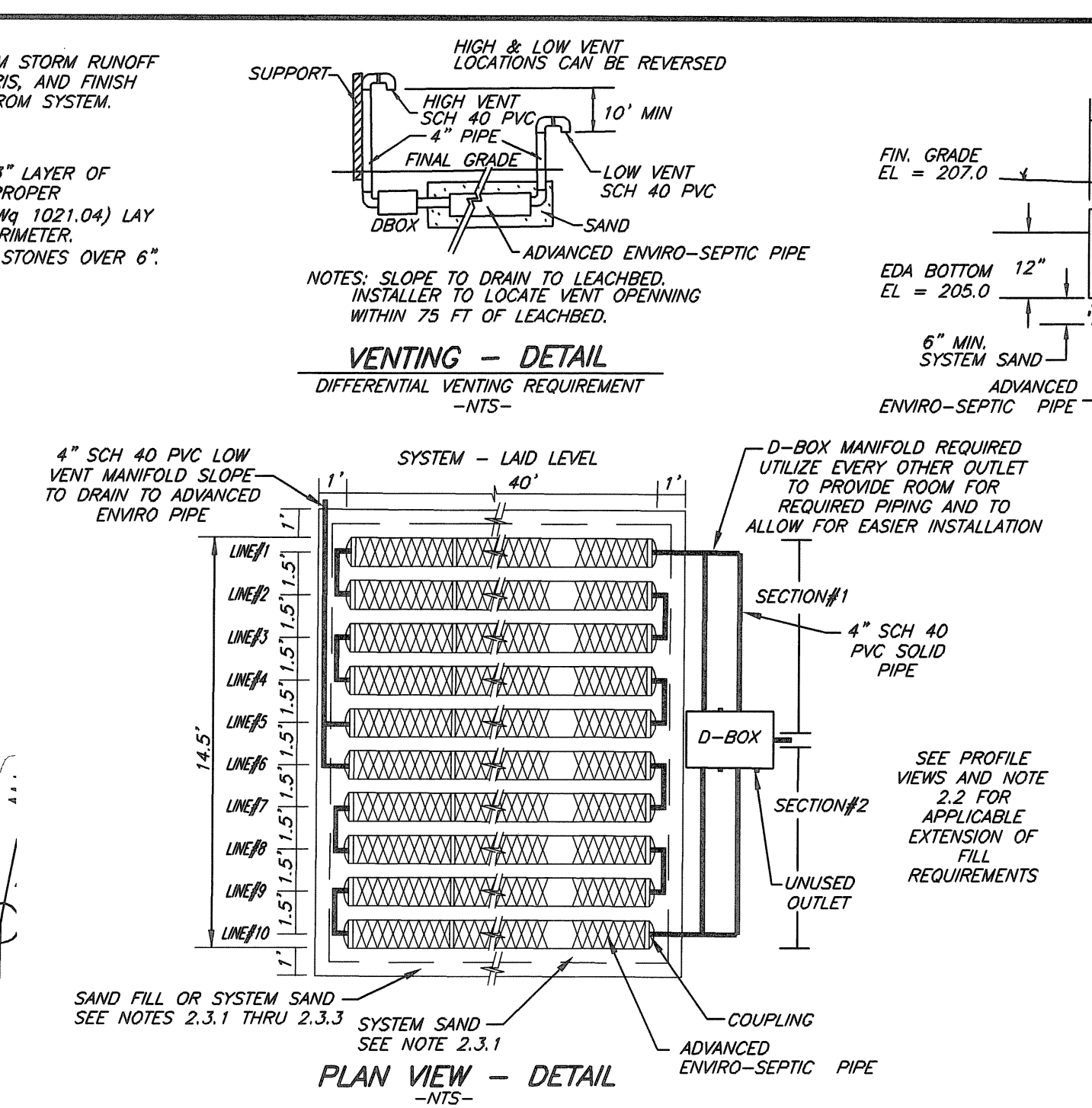
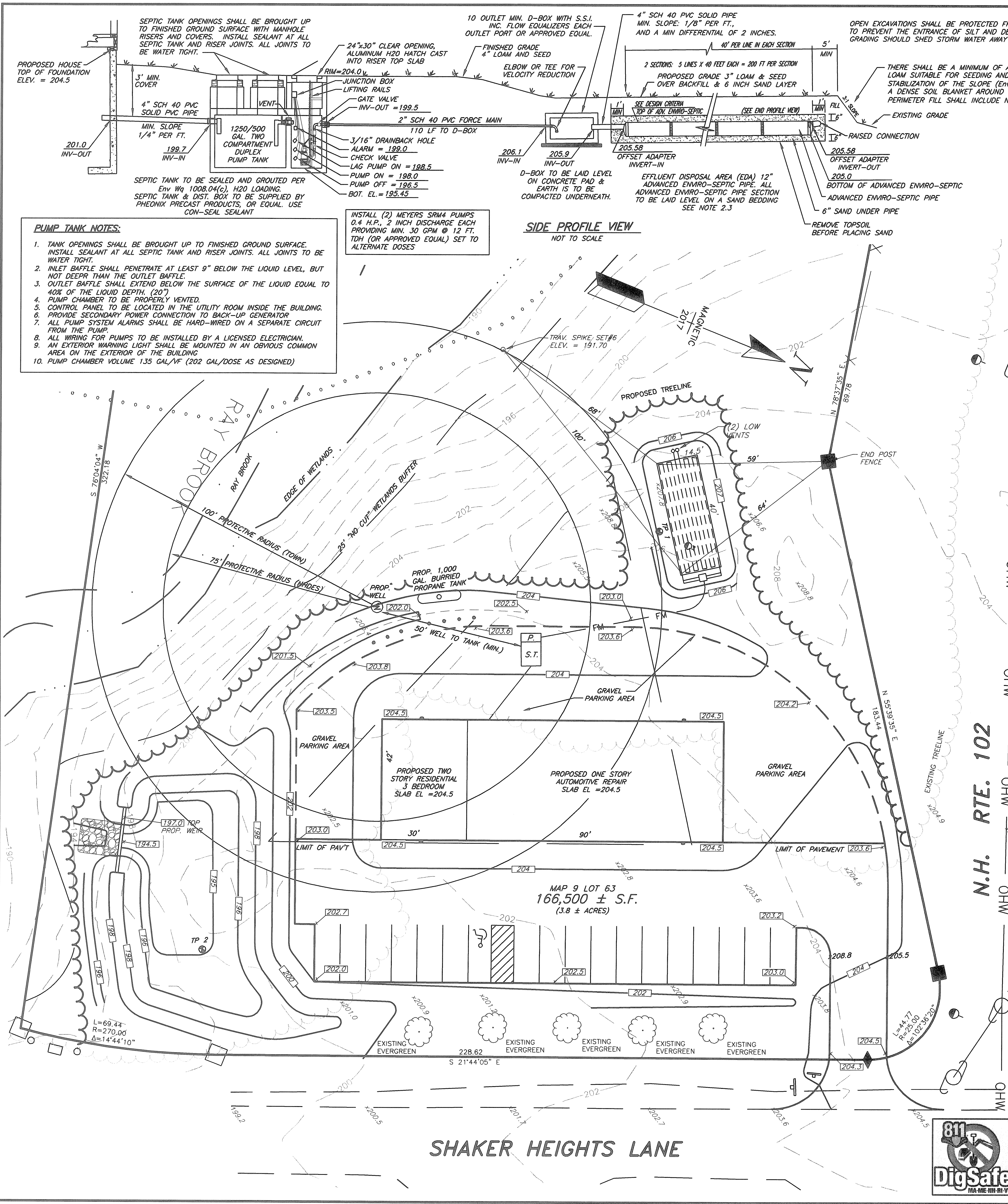
MAY 18, 2018

SHEET 5 OF 8

DESIGN:	DRAWN:	CHECKED:	FB:	PG:
GAC	JST	GAC	602	11

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6-27-18	DUBOIS & KING 5-18-18 COMMENTS	MKH	A
DATE	DESCRIPTION	BY	REV.



CONSTRUCTION NOTES

1.0 DESIGN DATA

1.1 USE: RESIDENTIAL/AUTOMOTIVE REPAIR. DESIGN FLOW 600 G.P.D.

1.2 THIS SYSTEM IS DESIGNED TO ACCOMMODATE ONLY SANITARY SEWAGE ASSOCIATED WITH NORMAL DOMESTIC USAGE AND IS NOT DESIGNED FOR GARBAGE DISPOSAL UNITS, SAUNAS, HOT TUBS, JACUZZIS, ROOF DRAINS, FOUNDATION DRAINS, WATER SOFTENERS OR ANY OTHER USAGE.

1.3 SYSTEM UTILIZES 400 LINEAL FEET OF ADVANCED ENVIRO-SEPTIC PIPE. SYSTEM TO BE INSTALLED IN ACCORDANCE WITH PRODUCT DESIGN AND INSTALLATION MANUAL, STATE AND LOCAL REGULATIONS. FOR PRODUCT INFORMATION OR THE NEAREST DEALER CONTACT PRESBY ENVIRONMENTAL, INC. ROUTE 117, P.O. BOX 617 SUGAR HILL, N.H. 03585, PHONE: 1-800-473-5298.

1.4 SHOULD A GARBAGE DISPOSAL UNIT BE DESIRED, A 1500 GALLON SEPTIC TANK SHALL BE INSTALLED IN SERIES PRIOR TO THE 1750 G.P.D. PUMP TANK TO PROVIDE THE REQUIRED 50% INCREASE IN VOLUME, AND THE INSTALLED LINEAL FEET OF ADVANCED ENVIRO-SEPTIC PIPE WILL HAVE TO BE INCREASED. THESE CHANGES WILL REQUIRE A REVISED DESIGN DRAWING SUBMISSION AND N.H.D.E.S. APPROVAL.

1.5 THE SEPTIC TANK IS TO MEET ENV-WQ 1010 SPECIFICATIONS. ACCESS SHALL BE PROVIDED TO EACH COMPARTMENT. SEPTIC TANK OPENINGS SHALL BE BROUGHT UP TO FINISHED GROUND SURFACE WITH MANHOLE RISERS AND COVERS. INSTALL SEALANT AT ALL SEPTIC TANK AND RISER JOINTS. ALL JOINTS TO BE WATER TIGHT.

2.0 EFFLUENT DISPOSAL AREA (EDA) CONSTRUCTION REQUIREMENTS.

2.1 INITIAL BED PREPARATION - ALL EXISTING TREES, TOP SOIL, DEBRIS, ORGANIC MATTER MUST BE REMOVED AND SURFACE RAKED PRIOR TO THE START OF EFFLUENT DISPOSAL BASAL AREA INSTALLATION.

2.2 RAISED BEDS - IF BED BOTTOM IS RAISED MORE THAN 3 FEET, PLACE ACCEPTABLE FILL PER ENV-WQ 1021.03 IN 10 INCH LIFTS. CONSOLIDATE EACH LIFT PRIOR TO SETTING NEXT LIFT. EXTEND FILL 5 FEET AROUND AND UNDER BED BEFORE TAPERING TO 3:1 SLOPES PER ENV-WQ 1021.04. RAKE SURFACE OF FINAL LIFT.

2.3 ADVANCED ENVIRO-SEPTIC PIPE PLACEMENT - EACH ADVANCED ENVIRO-SEPTIC PIPE LINE SHALL BE LAID LEVEL.

2.3.1 ALL CONFIGURATIONS OF ADVANCED ENVIRO-SEPTIC REQUIRE A MINIMUM OF 6 INCHES OF "SYSTEM SAND" SURROUNDING THE CIRCUMFERENCE OF THE PIPE. THIS SAND IS TYPICALLY A GRAVELLY COARSE SAND. REFER TO ADVANCED ENVIRO-SEPTIC DESIGN AND INSTALLATION MANUAL FOR PERCENTAGES AND QUALITY RESTRICTIONS. ASTM STANDARD C-33 (CONCRETE SAND) MEETS THE ABOVE REQUIREMENTS.

2.3.2 SAND FILL - MATERIAL USED TO SURROUND THE SYSTEM SAND, IT SHALL BE OF SYSTEM SAND QUALITY OR MEDIUM TO COARSE SAND, WITH AN EFFECTIVE SIZE OF 0.25 TO 2.0 mm, NO GREATER THAN 5% PASSING THE #200 SIEVE, AND NO PARTICLES GREATER THAN 3/4 INCH, OR MEETS ASTM C-33 SPECIFICATION PER ENV-WQ 1021.03(c) & (d).

2.3.3 PERIMETER SAND REQUIREMENTS: SYSTEMS SLOPING 10% OR LESS REQUIRE THE SYSTEM SAND AND SAND FILL AREA TO EXTEND A MINIMUM OF ONE (1) FOOT AROUND THE PERIMETER OF THE ENVIRO-SEPTIC PIPE. SYSTEMS SLOPING GREATER THAN 10% REQUIRE SYSTEM SAND AND SAND FILL AREA TO EXTEND A MINIMUM OF ONE (1) FOOT ON THREE SIDES AND FOUR (4) FEET BEYOND THE ADVANCED ENVIRO-SEPTIC PIPE ON THE DOWN-SLOPE SIDE.

2.4 ELLIMINATE UNDESIRABLE COVER WITH CLEAN PERMEABLE, ALL FREE OF TOP SOIL, HUMUS, DREDGINGS OR STONES MORE THAN 6 INCHES IN ANY DIMENSION TO DEPTH SPECIFIED ON PLAN AND DIRECT SURFACE DRAINAGE AWAY FROM EFFLUENT DISPOSAL AREA (EDA) PER ENV-WQ 1014.11(b), (c) & (d).

2.5 FINAL GRADING - ALL DISTURBED GROUND SURFACES OVER AND AROUND THE SYSTEM SHALL BE REGRADED AND SEED IMMEDIATELY AFTER BACKFILLING THE SYSTEM TO PREVENT EROSION.

3.0 GENERAL SYSTEM DESIGN AND INSTALLATION CRITERIA

3.1 4 INCH GRAVITY SEWER TO BE SDR 35 OR SCHEDULE 40 P.V.C. SEAL ALL PIPES LEADING TO AND EXITING FROM SEPTIC TANK AND D-BOX WITH EITHER NON-SHRINK MORTAR, THICK PLASTIC CEMENT, OR OTHER APPROVED SEALANT.

3.2 THERE ARE NO KNOWN SURFACE WATER AREAS OR POORLY DRAINED SOILS WITHIN 75 FEET OF THE PROPOSED EFFLUENT DISPOSAL SYSTEM (EDS).

3.3 DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS CONTRARY TO THOSE DEPICTED ON THIS PLAN, AND ANY CHANGES, SUBSTITUTIONS OR DEVIATIONS PRIOR TO THE START OF CONSTRUCTION.

3.4 THE INSTALLER SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN PRIOR TO THE START OF ANY CONSTRUCTION. THE DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND TO BE IN INTERFERENCE WITH THE SYSTEM'S CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. WHEN EXCAVATING NEAR THE UNDERGROUND UTILITIES INSTALLER SHOULD CALL DIG SAFE SYSTEM, INC. IN N.H. TEL: 1-800-225-1877.

3.5 VEHICULAR TRAFFIC TO BE EXCLUDED FROM TRAVELING OVER THE EFFLUENT DISPOSAL SYSTEM (EDS) APPURTENANCES UNLESS SPECIFIC PROVISIONS ARE PROPOSED ON THIS PLAN TO SUPPORT THE WHEEL LOADINGS.

3.6 IN THE EVENT OF SYSTEM FAILURE, ALL SOILED MATERIAL IS TO BE REMOVED. THE EFFLUENT DISPOSAL SYSTEM SHALL THEN BE RECONSTRUCTED IN THE SAME LOCATION USING SUITABLE CLEAN FILL MATERIAL.

3.7 ALL SYSTEMS TO BE INSPECTED AND APPROVED BY STATE AND/OR LOCAL MUNICIPAL AUTHORITIES AS REQUIRED BEFORE BACKFILLING.

3.8 SYSTEM SHALL BE TESTED WITH WATER PRIOR TO INSPECTION.

3.9 INSTALLATION OF ALL ADVANCED ENVIRO-SEPTIC SYSTEMS ARE TO BE IN STRICT ACCORDANCE WITH THE "ADVANCED ENVIRO-SEPTIC DESIGN AND INSTALLATION HANDBOOK FOR THE STATE OF NEW HAMPSHIRE", LATEST EDITION.

4.0 ADDITIONAL NOTES

4.1 ALL INVERT ELEVATIONS AND GRADES ARE REFERENCED FROM T.B.M.

4.2 THIS PLAN HAS BEEN PREPARED FOR EFFLUENT DISPOSAL SYSTEM DESIGN PURPOSES ONLY. IT IS NOT A BOUNDARY SURVEY. LOT LINE LOCATION SHOULD BE VERIFIED BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION.

4.3 MAINTENANCE: SEPTIC TANK IS TO BE INSPECTED AT LEAST ONCE EVERY YEAR. SEPTIC TANK IS TO BE PUMPED AND CLEANED A MINIMUM OF EVERY THREE YEARS OR MORE FREQUENT INTERVALS IF NEEDED. ENV-WQ 1023. ALWAYS CLEAN IF COMBINED THICKNESS OF SLUDGE AND SCUM EQUALS MORE THAN 1/4 OF THE LIQUID DEPTH INSIDE THE TANK. PUMP CHAMBER TO BE INSPECTED AND PUMPED ON THE SAME SCHEDULE.

4.4 FOUNDATION DRAINS ARE ALLOWED IF THE FOLLOWING SEPARATIONS ARE MAINTAINED:

15 FT. MIN. FND. TO SEPTIC TANK

25 FT. MIN. EFFLUENT DISPOSAL AREA (EDA) TO FND. OUTFALL

4.5 PROPOSED BUILDING SHALL BE SERVED BY A PRIVATE WELL ON SITE.

4.6 ALL PIPE SECTIONS WITHIN A PROTECTIVE WELL RADIUS SHALL BE SDR 26 OR EQUIVALENT. ALL SEPTIC TANKS WITHIN PROTECTIVE WELL RADIUS SHALL BE SEALED AND GROUTED PER ENV-WQ 1008.04(c).

4.7 DO NOT INSTALL SYSTEM ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.

4.8 SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH ENV-WQ 1000.

"APPROVAL FOR CONSTRUCTION" IS VALID FOR 4 YEARS FROM DATE OF ISSUE.

MID CROSS-SECTION PROFILE VIEW
NOT TO SCALE

TEST PIT DATA

TEST PIT NO. 1 (4-25-18)

0-2 10YR3/2 FINE SANDY LOAM, GRANULAR, FRABLE

2-18 2.516/3 GRAVELLY FINE SANDY LOAM, GRANULAR, FRABLE

18-42 2.516/4 COBBLY FINE SANDY LOAM, GRANULAR, FIRM

42-84 2.516/3 GRAVELLY LOAMY SAND, GRANULAR, FIRM

ROOTS TO 30', NO LEDGE AT 84', NOT WATER AT 84', NO ESHWT AT 84'

PERC RATE 15 MIN/INCH AT 26" (4-27-18)

STATE SUBDIVISION APPROVAL NUMBER : NA PRE 1967

ELEVATION REFERENCE : NGVD 1929

ELEVATION BENCHMARK SET : TRAV. SPIKE SET NO. 6, EL.=191.7 (SEE PLAN)

SOIL TYPE : SCITUATE-NEWFIELD'S COMPLEX PER NRCS ROCKINGHAM COUNTY

DESIGN CRITERIA

DESIGN PERCOLATION RATE 15 MIN/INCH

DAILY DESIGN FLOW: RESIDENTIAL (3 BEDROOMS) = 450 GPD

AUTOMOTIVE REPAIR (3 EMPLOYEES) @ 20 GPD/EA = 60 GPD

TOTAL DESIGN FLOW = 450 GPD + 60 GPD = 510 GPD (USE 600 GPD)

FROM ADVANCED ENVIRO-SEPTIC DESIGN AND INSTALLATION MANUAL NOVEMBER 2017

LINEAR FOOTAGE OF ADVANCED ENVIRO-SEPTIC REQUIRED PER TABLE A = 66 LF/100 GAL x 600 GAL = 396 LF REQUIRED

DESIGN INTENT: 1 LEACHED, 10 LINES x 40 LIN. FT. EACH LINE

= 400' TOTAL LIN. FT. ADVANCED ENVIRO-SEPTIC PIPE

SYSTEM WIDTH (MEASURED TO OUTER MOST SURFACE OF PIPE ON EACH SIDE OF EDA)=14.5'

THE BED BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT ELEVATION 205.0 (HIGH CONTOUR ELEV. = 205.0) THE BED BOTTOM IS 2.8 FEET BELOW ORIGINAL GROUND ON THE HIGH CONTOUR OF THE DESIGNED EFFLUENT DISPOSAL SYSTEM (EDS).

LEGEND

GRANITE BOUND FOUND

REBAR FOUND

IRON PIPE FOUND

DRILL HOLE FOUND

DRILL HOLE SET

PROP. SPOT GRADE

PROPOSED GRADE

WELL OR WATER LINE

UTILITY POLE

STONE WALL

WATER SHUTOFF VALVE

CATCH BASIN

EXISTING CONTOUR

PROPOSED CONTOUR

EDGE OF WETLANDS

LOCUS MAP

RAYMOND CHESTER

RAYMOND RD

WASCON RD

WASCON BROOK

WASCON POND

PRECINCT RD

PRECINCT RIVER

LOCUS MAP

5-3-18 RELOCATED SEPTIC TANK JST

DATE REVISION BY

SCALE: 1" = 20'

GRAPHIC SCALE

TAX MAP 9 LOT 63

INDIVIDUAL SEWERAGE SYSTEM

680 RAYMOND ROAD

CHESTER, NEW HAMPSHIRE

EDSEL BARRED PROPERTIES, LLC

c/o JOHNATHAN FARR

40 GIANT DRIVE

HAMPSHIRE, N.H. 03841

SCALE: 1" = 20' MAY 1, 2018 SHEET 6 OF 8

DESIGN DRAWN NO. FB PG PROJECT NO.

JST JST 1460001\DWG\1460001C\01\SEPTIC 602 11 1460-01

Bedford Design Consultants

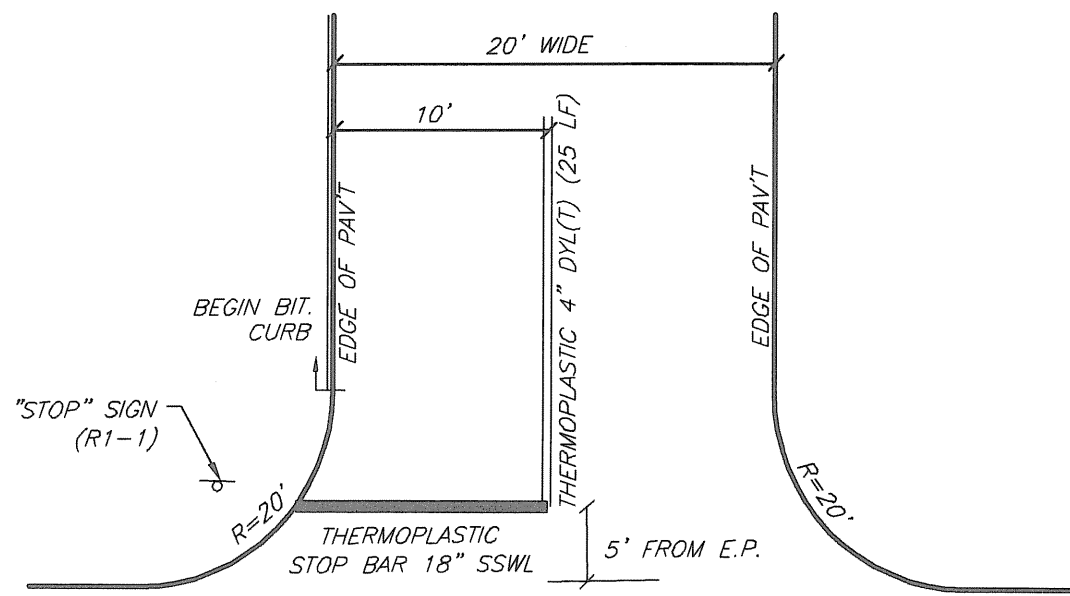
ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109

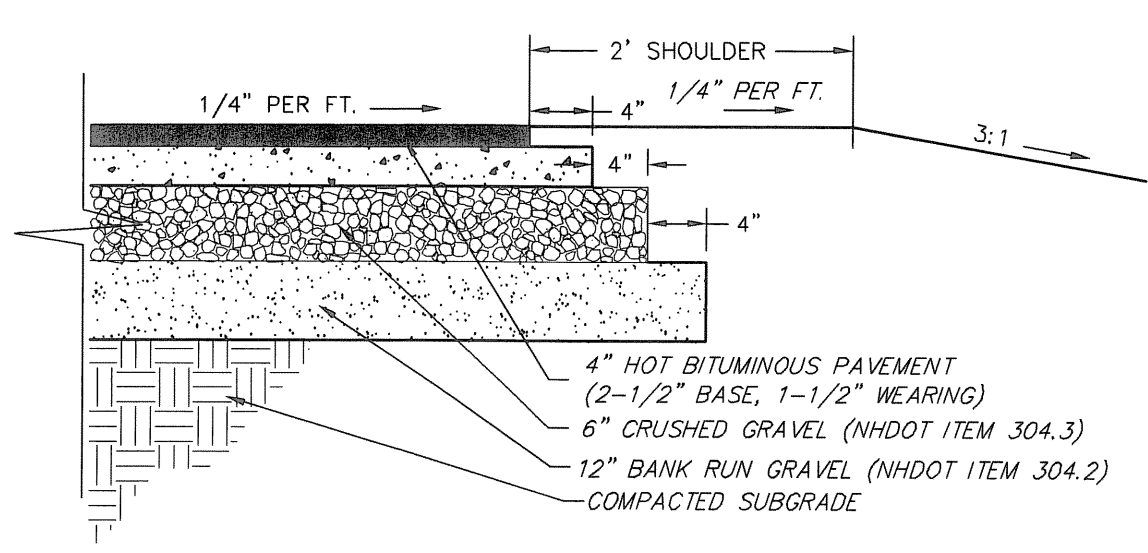
Telephone: (603) 622-5533 Fax: (603) 622-4740

www.bedforddesign.com

NHDES APPROVAL NO: eCA2018050304



DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE

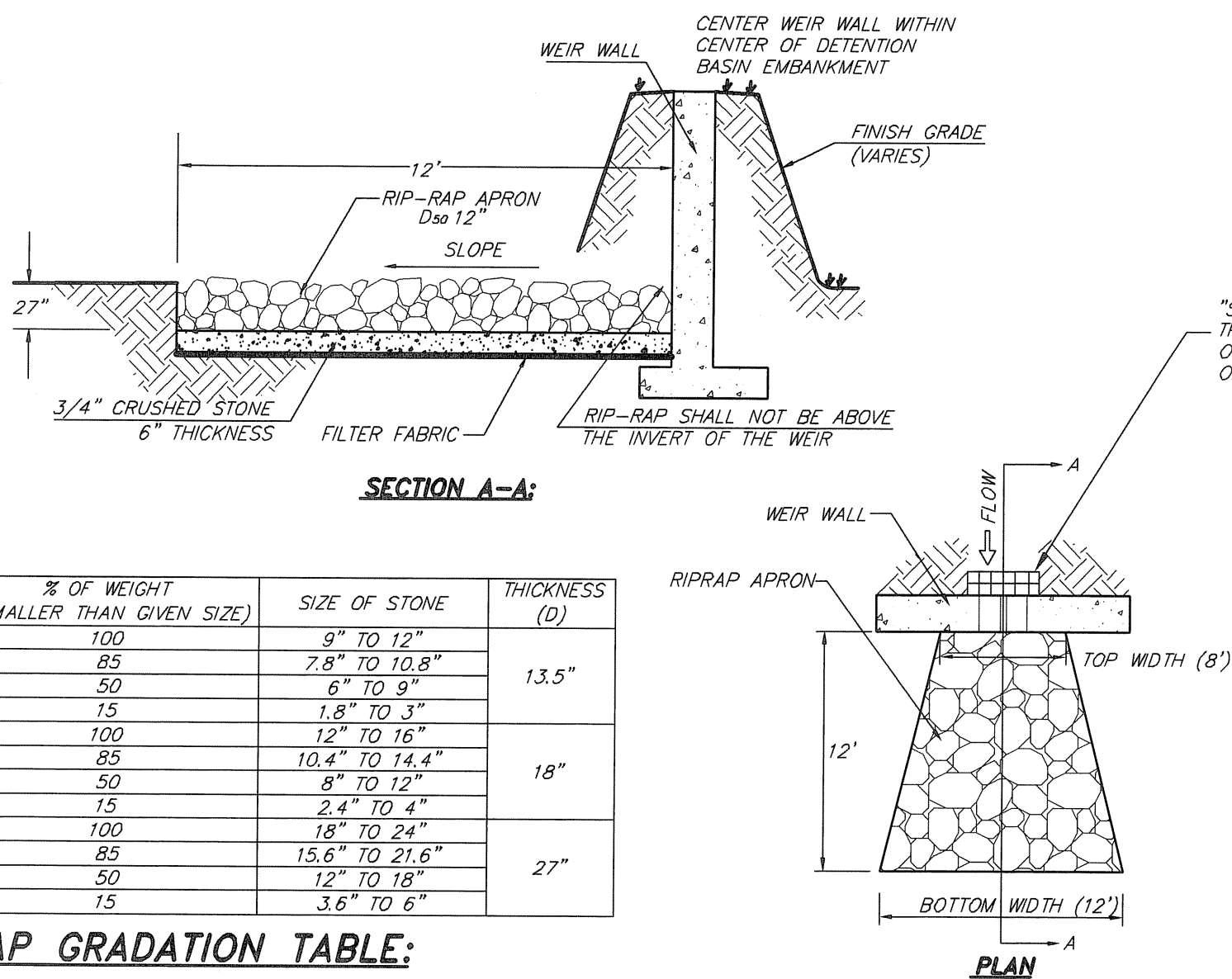


NOTES:
1. SECTION NUMBERS REFER TO APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
2. SECTION 410 (TACK COAT) WILL APPLY IF MORE THEN 180 CALENDAR DAYS ELAPSE BETWEEN PLACEMENT OF BINDER COARSE AND WEARING COARSE.

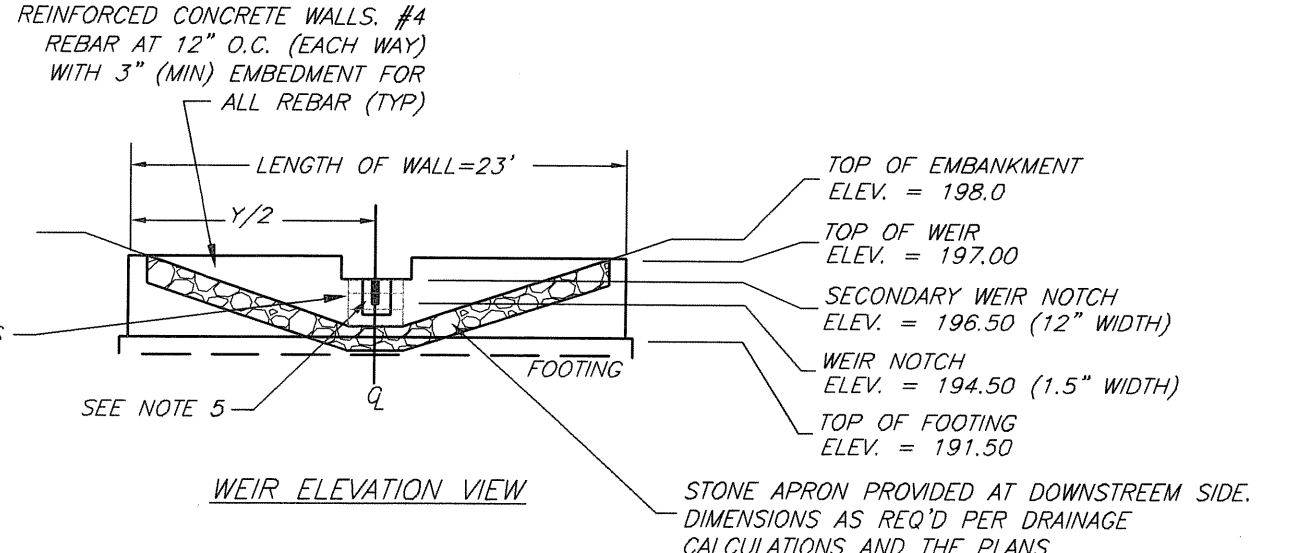
PAVEMENT SECTION DETAIL
NOT TO SCALE

DESIGN SIZE	RIP-RAP SIZE	% OF WEIGHT (SMALLER THAN GIVEN SIZE)	SIZE OF STONE	THICKNESS (D)
D ₃₀	6"	100	9" TO 12"	13.5"
		85	7.8" TO 10.8"	
		50	6" TO 9"	
		15	1.8" TO 3"	
		100	12" TO 16"	
D ₅₀	8"	85	10.4" TO 14.4"	18"
		50	8" TO 12"	
		15	2.4" TO 4"	
		100	18" TO 24"	
		85	15.6" TO 21.6"	
D ₉₀	12"	50	12" TO 18"	27"
		15	3.6" TO 6"	
		100	24" TO 36"	

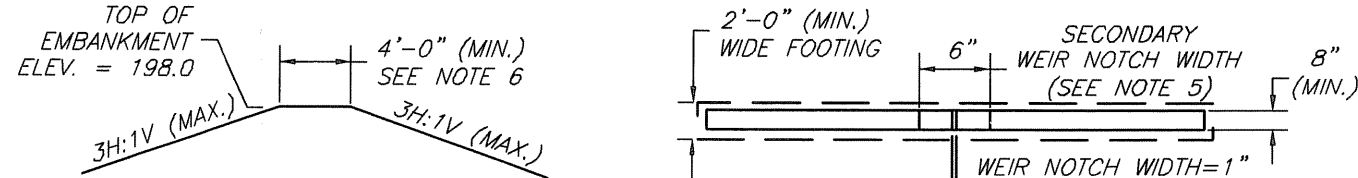
RIP-RAP GRADATION TABLE:



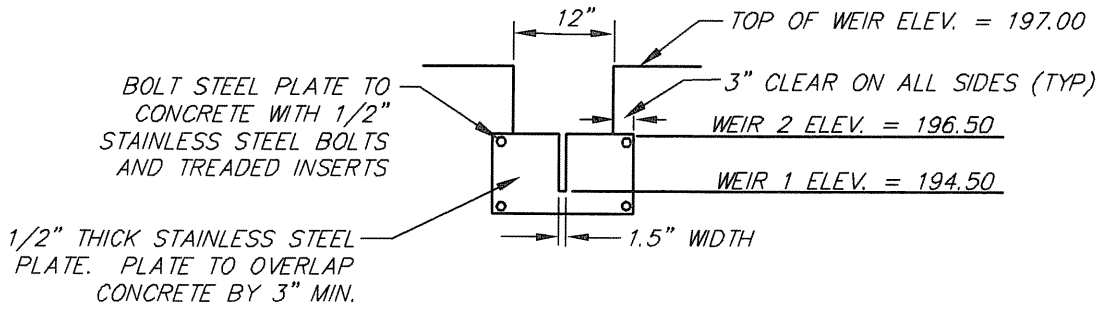
HEADWALL RIP-RAP APRON DETAIL:
NOT TO SCALE



WEIR ELEVATION VIEW



WEIR PLAN VIEW

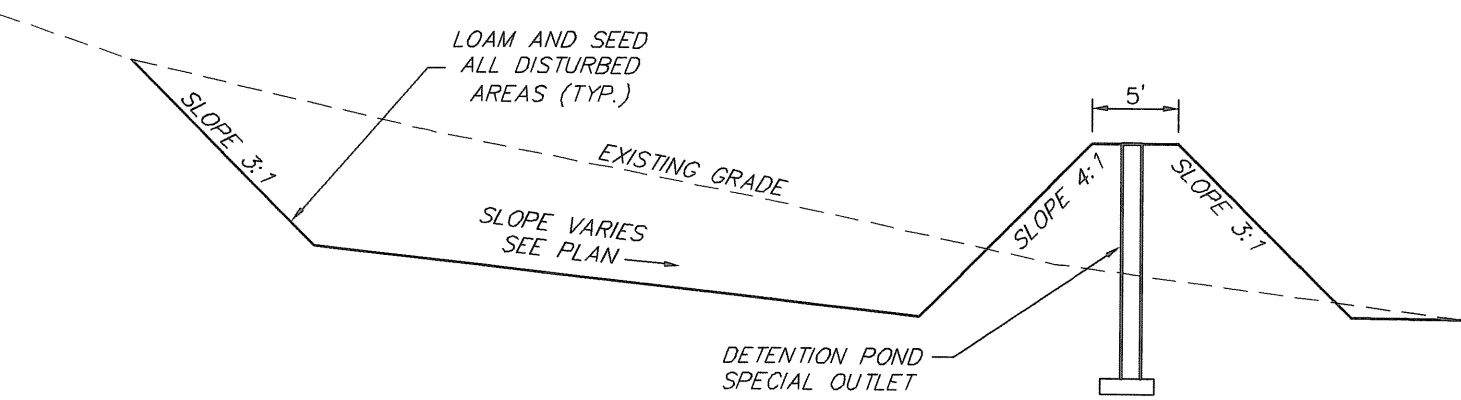


WEIR PLATE DETAIL

NOTES:

- ALL CEMENT CONCRETE TO BE 4000 PSI (MIN).
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING DESIGN DETAILS AND STEEL REINFORCING PREPARED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTROL WEIRS SHALL BE CAST IN AS REQUIRED. MINIMUM CONCRETE WEIR WIDTH SHALL BE 2 INCHES.
- CONTROL WEIRS(S) SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIR LESS THAN 2 INCHES ATTACHED PER EXHIBIT D107. STAINLESS STEEL SHALL BE GRADE 316.
- MINIMUM EMBANKMENT ELEVATION TO BE 12" ABOVE 50-YEAR STORM ELEVATION.

LOW FLOW OUTLET STRUCTURE AT DETENTION BASIN
NOT TO SCALE



TYPICAL DETENTION POND CROSS-SECTION
NOT TO SCALE

DETENTION POND CONSTRUCTION:

- FOUNDATION PREPARATION**
THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED SLOPES AND SPILLWAYS. FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IS SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.

- FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
- FILL PLACEMENT**
- THE MATERIAL PLACE IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILL), AND OTHER OBJECTIONABLE MATERIAL.

- SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.

- THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS. PLACE MAXIMUM 8" LIFTS COMPACTED TO 93% MAXIMUM PROCTOR DENSITY. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

- THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MOST IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL**
- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION**
- CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.

- IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.

- FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.
- PROTECTION**
- A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OR PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.

- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.

DETENTION POND MAINTENANCE

- THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- PIPE INLETS AND SPILLWAY STRUCTURE SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.

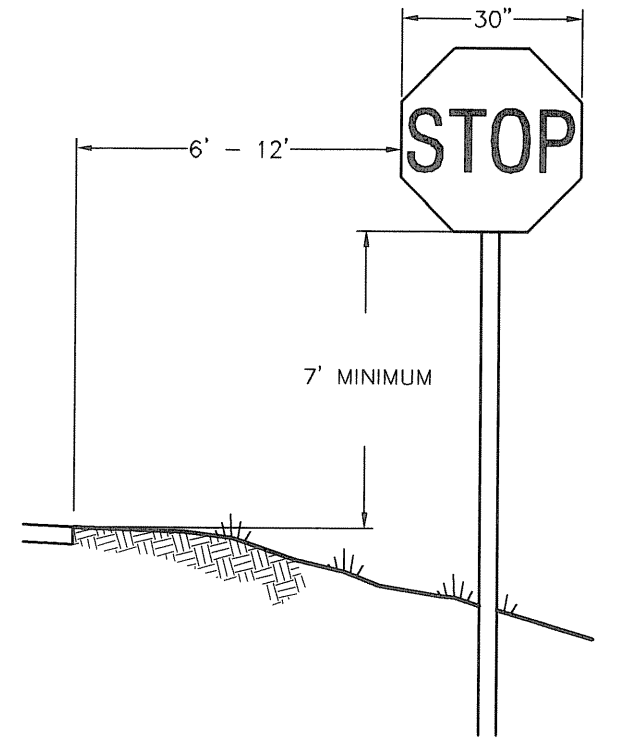
BERM MATERIALS:

- IMPERVIOUS CORE** (CLAY, SILT & SAND) SHALL CONFORM TO AASHTO 127 HAVING A COEFFICIENT OF PERMEABILITY OF 1 x 10 CM/SEC AND MEET THE GRADATION AS FOLLOWS:
ROLLED TO 6" LAYERS (95% COMPACTION)

PERCENT FINER	SIEVE SIZE
100	#4
30 TO 85	#40
20 TO 50	#200
- FILTER LAYER** F1 (SAND & FINE GRAVEL)

PERCENT FINER	SIEVE SIZE
100	1/2 IN.
40 TO 85	#4
30 TO 50	#10
0 TO 5	#200
- FILTER LAYER** F2 EMBANKMENT MATERIAL SHALL CONFORM TO AASHTO M57 AND MEET THE FOLLOWING GRADATION:

PERCENT FINER	SIEVE SIZE
100	3 IN.
95 TO 100	2 IN.
55 TO 85	1 IN.
27 TO 52	#4
50 MAX.	#40
25 MAX.	#200



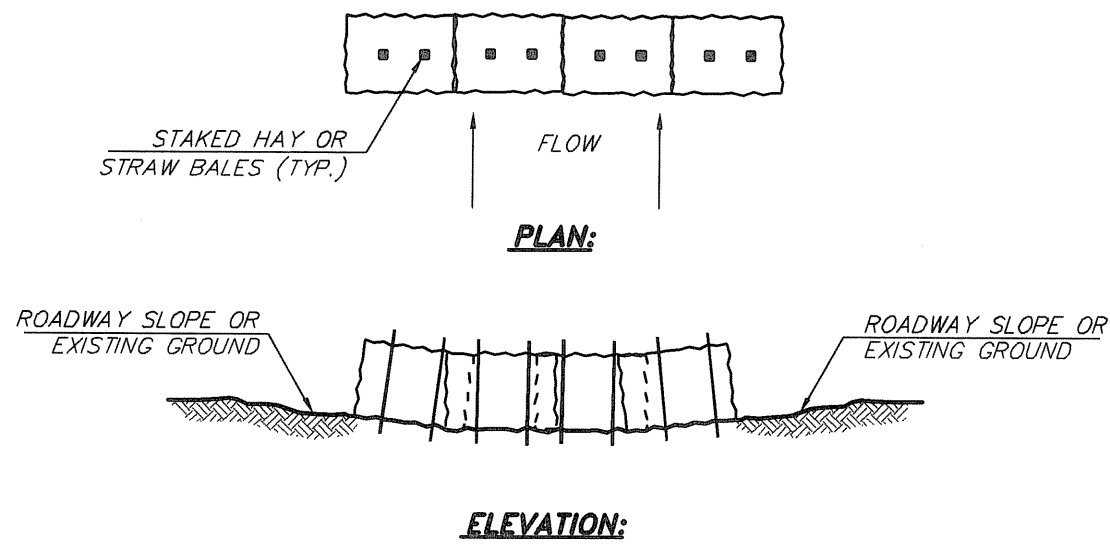
TYPICAL RURAL STOP SIGN DETAIL
NOT TO SCALE

NOTES:
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- TYPICAL RURAL STOP SIGN DETAIL IS "STANDARD R1-1" OF THE M.U.T.C.D.

GRASS LINED SWALE DETAIL:
NOT TO SCALE

NOTES:
- A TEMPORARY GRADE STABILIZATION STRUCTURE MAY BE REQUIRED IN THE DITCH TO REDUCE THE VELOCITY OF CONCENTRATED STORMWATER FLOWS IN THE DITCH AND THEREBY REDUCE EROSION OF THE DRAINAGE DITCH. REFER TO THE STONE CHECK DAM DETAIL OR THE STRAW BALE BARRIER DETAIL FOR ADDITIONAL DETAILS OF THESE STABILIZATION STRUCTURES.

MAINTENANCE:
- TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCRACHMENT OF WOODS AND WOODY VEGETATION, HOWEVER IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.
- THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. FILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.



STRAW BALE BARRIERS. STRAW BALE BARRIERS SHALL BE USED ONLY AS FOLLOWS:

- THE BARRIERS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE BARRIER.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE BARRIER SHALL BE LESS THAN 0.25 ACRE PER 100 LINEAR FEET OF BARRIER.
- THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE BARRIER SHALL BE 100 FEET.
- THE MAXIMUM SLOPE OF THE AREA ABOVE THE BARRIER SHALL BE 2:1.
- THE BARRIERS SHALL BE INSTALLED AS FOLLOWS:
 - THE BARRIERS SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
 - THE ENDS OF THE BARRIER SHALL BE FLARED UP SLOPE;
 - THE BALE ENDS SHALL BE TIGHTLY ADJOINED;
 - EACH BALE SHALL BE EMBEDDED AT LEAST 4 INCHES INTO THE GROUND; AND
 - A MINIMUM OF 2 ANCHORING STAKES PER BALE SHALL BE USED, WITH ALL STAKES PENETRATING AT LEAST 18 INCHES INTO THE GROUND.
- THE BARRIERS SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAIN EVENT AND AT LEAST DAILY DURING PROLONGED RAIN EVENTS; AND
- SEDIMENT THAT ACCUMULATES AT THE BARRIERS SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE BARRIER

STRAW BALE BARRIERS
NOT TO SCALE

6-27-18	DUBOIS & KING 5-18-18 COMMENTS	MKH	A
DATE	DESCRIPTION	BY	REV.



TAX MAP 9 LOT 63
CONSTRUCTION DETAILS
FARRS AUTO REPAIR
LOCATED AT:
680 RAYMOND ROAD
CHESTER, NEW HAMPSHIRE

OWNERS:
EDSEL BARRED PROPERTIES, LLC
c/o JOHNATHAN FARR
40 GIGANTE DRIVE
HAMPSTEAD, N.H. 03841

SCALE: NONE	MAY 18, 2018	SHEET 7 OF 8
DESIGN: GAC	DRAWN: JUST	CHECKED: GAC
FB: 602	PG: 11	1460-01
Bedford Design Consultants Inc. ENGINEERS AND SURVEYORS 177 East Industrial Park Drive, Manchester, NH 03109 Telephone: (603) 622-5533 Fax: (603) 622-4740 www.bedforddesign.com		

GENERAL CONSTRUCTION NOTES:

- BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
- ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- SHOULD GROUND WATER OR UNSUITABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
- CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.
- PAVEMENT OF THE ROADWAY SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
 - BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T. SPECIFICATION 401 CONSTRUCTION REQUIREMENTS.
 - GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2.
 - THE CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3.
 - REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
- COMPACTION OF BACKFILL:
 - GRASSSED AREAS: EMBANKMENT AND AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90% PRIVATE DRIVEWAY.
 - THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
- TRENCH CONSTRUCTION WILL CONFORM WITH SECTION 603.3.1. OF THE N.H.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION).
- WOOD SHEETING OR A SUITABLE TRENCH BOX SHALL BE USED TO SUPPORT THE TRENCH AS NECESSARY. IF WOOD SHEETING IS USED, IT SHALL BE DRIVEN AT A DISTANCE OF ONE OUTSIDE DIAMETER OF THE PIPE TO A DEPTH SIX INCHES BELOW THE INVERT OF THE PIPE. WOOD SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE, BUT NOT GREATER THAN THREE FEET BELOW THE FINISHED GRADE.
- TRENCH BEDDING SHALL CONFORM WITH SECTION 603.3.2. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). FIRST CLASS BEDDING WILL BE REQUIRED FOR ALL PIPES 48" OR MORE IN DIAMETER OR SPAN.
- BACKFILL MATERIAL FOR TRENCHES WILL CONFORM WITH SECTION 603.3.3. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). BACKFILL SHALL INCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTE, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. BACKFILL SHALL NOT BE PLACED ON FROZEN MATERIAL.
- COMPACTION OF TRENCH BACKFILL AND PIPE BEDDING SHALL BE SIX INCH LIFTS FOR BEDDING AND BACKFILL TO A PLANE ONE FOOT ABOVE THE PIPE AND IN 12 INCH LIFTS THEREAFTER BY AN APPROVED MECHANICAL COMPACTOR.
- SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
- THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- ALL SEEDD AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF STRAW MULCH SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
- STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE DETENTION BASIN, SWALES, OR DITCHES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S150BN EROSION CONTROL BLANKETING.
- THE PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS OF AND INTENT OF RSA 430:51-57 AND AGR 3800 RELATIVE TO INVASIVE SPECIES; AND FUGITIVE DUST IS TO BE CONTROLLED IN ACCORDANCE WITH ENV-W 1000.
- THE TOWN OF CHESTER RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL EROSION CONTROL MEASURES BE INSTALLED DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS/INSPECTIONS.

SEEDING/MULCHING OF DISTURBED AREAS

TEMPORARY AND PERMANENT MULCHING: MULCHING SHALL COMPLY WITH THE FOLLOWING:

- HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER.
- MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPE, FLOW CONDITIONS, AND TIME OF YEAR.
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 90 POUNDS PER 1,000 SQUARE FEET.
- WOOD CHIPS OR GROUND BARK SHALL BE APPLIED AT 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE, EQUIVALENT TO 460 TO 920 POUNDS PER 1,000 SQUARE FEET.
- JUTE AND FIBROUS MATS AND WOOD EXCLESIOR SHALL BE INSTALLED ACCORDING TO THE APPLICABLE MANUFACTURER'S INSTRUCTIONS; AND
- EROSION CONTROL MIX SHALL:
 - MEET THE CRITERIA OF ENV-WO 1506.05(B); AND
 - BE PLACED AT A THICKNESS OF 2 INCHES OR MORE.

VEGETATION: VEGETATING DISTURBED AREAS SHALL BE COMPLETED ONLY AS SPECIFIED BELOW:

- ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING.
- STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDD SO AS NOT TO INTERFERE WITH THE SEEDING.
- TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ON SLOPES 4:1 OR STEEPER, FINAL PREPARATION OF THE AREA TO BE SEEDD SHALL INCLUDE CREATING GROOVES IN THE SOIL PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF; IF NEEDED TO ENSURE GROWTH, FERTILIZER OR OTHER ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
- FERTILIZER APPLIED TO ANY AREA WITHIN 100 FEET OF ANY RIVER, STREAM, POND, OR LAKE SHALL BE LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER ONLY.
- FERTILIZER APPLIED TO ANY AREA THAT IS SUBJECT TO RSA 483-B, THE COMPREHENSIVE WATER QUALITY PROTECTION ACT (ACT), SHALL MEET OR BE MORE PROTECTIVE OF WATER QUALITY THAN THE MINIMUM STANDARDS OF THE ACT.
- ALL SEEDD AREAS SHALL BE FERTILIZED, FERTILIZATION SHALL BE AT THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER.
- ALL GRADED AREAS SHALL BE SEEDD WITH:
 - TALL FESCUE: 20 POUNDS PER ACRE
 - CREeping RED FESCUE: 20 POUNDS PER ACRE
 - BIRDSFOOT TREFOIL: 8 POUNDS PER ACRE
 - TOTAL: 48 POUNDS PER ACRE LIVE SEED

- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 IN. OF SOIL OR LESS, BY CULTPACKING OR RAKING.
- RUNOFF SHALL BE DIVERTED FROM THE SEEDD AREA;
- SUBJECT TO (N) BELOW, SEEDING SHALL OCCUR PRIOR TO SEPTEMBER 15TH OF THE YEAR IN WHICH THE AREA BEING SEEDD WAS DISTURBED.
- AREAS SEEDD BETWEEN MAY 15TH TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH MEETING THE CRITERIA OF ENV-WO 1506.01(A) THROUGH (C); AND
- IF VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA IS NOT ACHIEVED PRIOR TO OCTOBER 15TH, ONE OR MORE ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED.

CONSTRUCTION SEQUENCE:

- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THESE PLANS.
- CUT AND CLEAR TREES IN CONSTRUCTION AREAS ONLY.
- INSTALL SILT FENCE
- REMOVE STUMPS FROM SITE FOR SITE GRADING (CUT AND/OR FILL) TO SUBGRADE. STABILIZE AREAS WITH BASE GRAVEL WITHIN SIX WEEKS OF REMOVING STUMPS.
- THE MAXIMUM UNSTABILIZED AREA SHALL BE LIMITED TO THE MINIMUM AREA PRACTICABLE FOR SITE CONSTRUCTION (NOT TO EXCEED 5 ACRES). NO AREA SHALL BE LEFT UNSTABILIZED MORE THAN 6 WEEKS. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS HAPPENED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES AS PER THE NOTES IN THESE DRAWINGS. EROSION, SEDIMENT, AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
 - SILT FENCE
 - RIp RAP LINED SWALES
 - RIp RAP APRONS AT CULVERT OUTLETS
 - TREATMENT SWALES
 - DETENTION PONDS
- ALL DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES.
- STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE DETENTION BASINS, SWALES, OR DITCHES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- FINISH CLEARING AND GRUBBING.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS, AS NECESSARY.
- CONSTRUCT CONSTRUCTION ENTRANCE FOR ACCESS TO DESIRED CONSTRUCTION AREAS.
- BEGIN CONSTRUCTION OF UTILITIES AND STORM DRAINAGE AS NECESSARY.
- MODIFY EROSION CONTROL MEASURES.
- BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAIN DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS NECESSARY.
- PAVE ALL PRIVATE DRIVEWAYS AND PARKING AREAS AS SPECIFIED ON THE PLAN.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROLS NEED TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF FINISH GRADING. MAXIMUM EXPOSURE LENGTH FOR ANY DISTURBED AREA IS 30 DAYS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDD AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETED.

SITE MAINTENANCE AND INSPECTION PROGRAM

A. INSPECTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO

- CLEANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
- WEEKLY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES.
- REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES, AND TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS.
- INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE.
- TREATMENT OF NON-STORMWATER RELATED DISCHARGES SUCH AS WATER LINE INSTALLATION FLUSH WATER OR GROUNDWATER FROM DEWATERING ACTIVITIES. THESE FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA WITH WATER QUALITY SKIMMER OUTLETS.
- SWEEP PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.

B. GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:

- AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED FOR THIS SPECIFIC SITE.
- ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND OTHER SUITABLE ENCLOSURE.
- PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
- WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- THE MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL OF ALL PRODUCTS.
- THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON SITE.

C. SPILL PREVENTION AND CLEANUP PRACTICES

THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPECIFIC SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO:

- MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT WILL NOT BE INCLUDED WITH THE CLEANUP SUPPLIES, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC/METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

COLD WEATHER STABILIZATION

- TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE ADDITIONAL STABILIZATION TECHNIQUES SPECIFIED IN THIS SECTION SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1.
- SUBJECT TO (C), BELOW, THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO ONE ACRE, AND PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT.
- THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF A WINTER CONSTRUCTION PLAN IS DEVELOPED BY A QUALIFIED ENGINEER OR A CPESC SPECIALIST AND BY SUBMITTED TO THE DEPARTMENT FOR APPROVAL AS A REQUEST TO WAIVE THE ONE-ACRE LIMIT.
- D. SUBJECT TO (F) AND (G), BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDD AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING OR TACKIFIER OR WITH AT LEAST 2 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV-WO 1506.05(B).
- E. SUBJECT TO (F) AND (G), BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF 15% OR GREATER THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDD AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH AT LEAST 4 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV-WO 1506.05(B).
- F. ANCHORED HAY MULCH OR EROSION CONTROL MIX THAT MEETS THE CRITERIA OF ENV-WO 1506.05(B), SHALL NOT BE INSTALLED OVER SNOW GREATER THAN ONE INCH IN DEPTH.
- G. EROSION CONTROL BLANKETS SHALL NOT BE INSTALLED OVER SNOW GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
- H. ALL PROPOSED STABILIZATION IN ACCORDANCE WITH (D) OR (E), ABOVE, SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
- I. ALL DITCHES OR SWALES THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY THE OWNER'S ENGINEERING CONSULTANT.
- J. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED, THE WINTER SEASON SHALL BE SEEDD WITH A MINIMUM OF 1-INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS OF NHDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2016, TABLE 304-1, ITEM NO. 304.1, 304.2, OR 304.3.
- K. ALL TOPSOIL STOCKPILED SHALL BE MULCHED PRIOR TO ANY SNOW EVENT. STANDARD PROTECTION OF STOCKPILES AS DESCRIBED IN OTHER SECTIONS OF THESE DRAWINGS SHALL BE MAINTAINED.
- L. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GENERAL EROSION CONTROL NOTES:

- PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS;
- STORMWATER TREATMENT PONDS AND DRAINAGE SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE;
- RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED;
- BASINS, DITCHES AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM;
- ROADWAYS AND PARKING AREAS MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE;
- CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE;
- ALL AREAS OF UNSTABILIZED SOIL MUST BE STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 49 DAYS OF INITIAL DISTURBANCE.
- EROSION CONTROL PRACTICES MUST BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5 INCH OR MORE;
- THE AREA OF DISTURBANCE MUST BE LIMITED TO 5 ACRES UNLESS ENV-WO 1505.05 RELATIVE TO COLD WEATHER STABILIZATION APPLIES.
- IN AREAS THAT WILL NOT BE PAVED, STABLE MEANS THAT:
 - A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED IN ACCORDANCE WITH ENV-WO 1506.03; AND
- IN AREAS TO BE PAVED, STABLE MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

TEMPORARY SEDIMENT TRAP: TEMPORARY SEDIMENT TRAPS SHALL COMPLY WITH THE FOLLOWING:

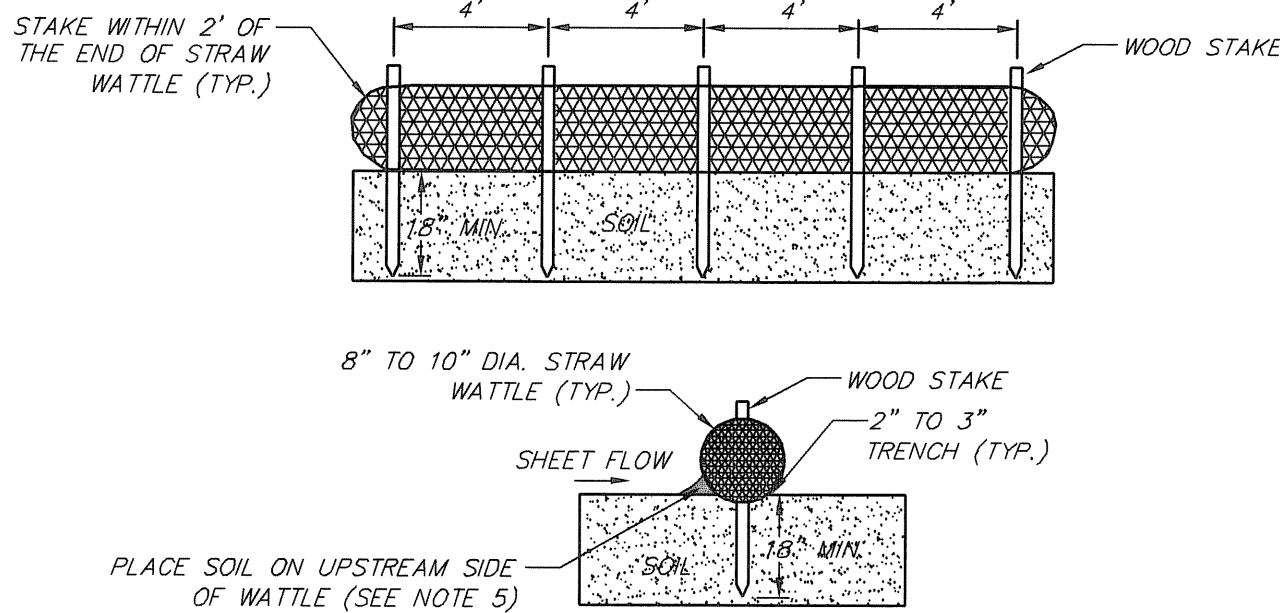
- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE;
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES;
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA;
- THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION;
- THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA;
- THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED; AND
- THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

CONSTRUCTION DEWATERING: DEWATERING SHALL COMPLY WITH THE FOLLOWING:

- THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION;
- ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM;
- IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA;
- NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN;
- FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR ITS VOLUME CAPACITY; AND
- WHEREVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE
- DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA

TEMPORARY STORMWATER DIVERSION: TEMPORARY STORMWATER DIVERSION SHALL COMPLY WITH THE FOLLOWING:

- WHEN NECESSARY TO MINIMIZE RELEASE OF SEDIMENT-LADEN RUNOFF PRIOR TO STABILIZATION OF THE SITE THE PERMANENT STORMWATER MANAGEMENT SYSTEM COMPONENTS, SEDIMENT-LADEN WATER SHALL BE DIVERTED AND STORED IN TEMPORARY DIVERSION PRACTICES SUCH AS SEDIMENT BASINS OR TRENCHES;
- SUBJECT TO (C), BELOW, TEMPORARY DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO RECEIVING RUNOFF;
- TEMPORARY DIVERSION CHANNELS WITH A GRADIENT OF 2 PERCENT OR GREATER SHALL BE STABILIZED, HOWEVER CHANNELS WITH A SLOPE OF LESS THAN 2% SHALL BE STABILIZED ONLY IF EROSION IS OBSERVED;
- THE AREA DRAINING TO EACH TEMPORARY DIVERSION PRACTICE SHALL BE LESS THAN 5 ACRES;
- TEMPORARY DIVERSION CHANNELS SHALL CONVEY, AND TEMPORARY BASINS AND TRENCHES SHALL CONTAIN, THE 2-YEAR, 24 HOUR DESIGN STORM WITHOUT OVERTOPPING THE BANKS;
- THE BED SLOPE OF DIVERSION CHANNELS SHALL HAVE A POSITIVE GRADE TO ASSURE DRAINAGE;
- WHERE DIVERSIONS CARRY CONCENTRATED FLOWS, ENERGY DISSIPATION METHODS SHALL BE IMPLEMENTED TO DISPERSE FLOW INTO AREAS DOWNSTREAM OF THE DISTURBED AREA;
- IF EROSION OF DIVERSION PRACTICES OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHALL BE TAKEN TO STABILIZE THE BASIN, CHANNEL, AND METHOD;
- DIVERSION BASINS AND TRENCHES SHALL BE CLEARED OF SEDIMENT WHENEVER SEDIMENT ACCUMULATES.



INSTALLATION NOTES:

- LAYOUT A CONTOUR LINE ON THE SLOPE WITH A HAND LEVEL AND WIRE FLAGS.
- DIG A SHALLOW DEPRESSION (ABOUT 2 TO 3 INCHES DEEP) AND LAY THE WATTLE INTO IT.
- DRIVE A WOODEN STAKE THROUGH THE CENTER OF THE WATTLE AT LEAST 18 INCHES INTO THE GROUND, STOPPING ABOUT TWO INCHES ABOVE THE WATTLE.
- PUT 5 STAKES IN EACH WATTLE, INSTALLING THEM END TO END IN THE TRENCH.
- SEAL THE WATTLE WITH FOOT TAMPED BACKFILL ON THE UPSTREAM SIDE SUCH THAT WATER FLOWING DOWN THE SLOPE WILL NOT RUN UNDER IT.

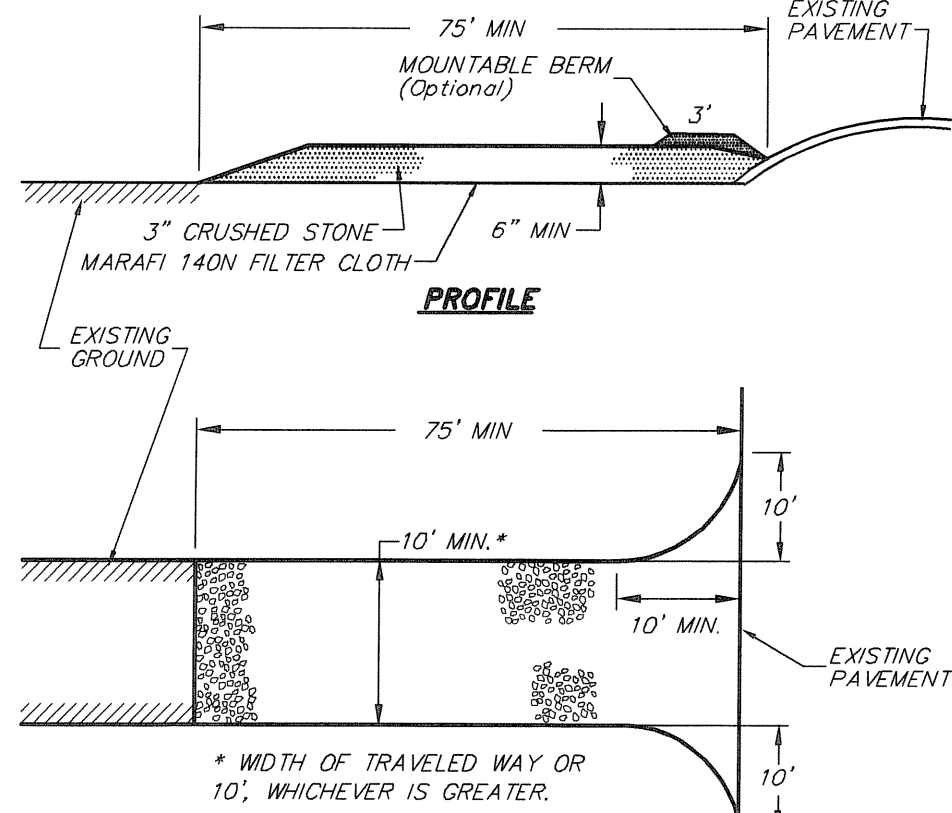
NOTES:

- ENDS OF WATTLES SHALL BE TURNED SLIGHTLY UP.
- RECOMMENDED STAKES ARE 1 1/8" WIDE x 1 1/8" THICK x 30" LONG.
- STAKES SHALL NOT EXTEND MORE THAN 2" ABOVE STRAW WATTLE.

STRAW WATTLE DETAIL

NOT TO SCALE

6-27-18	DUBOIS & KING 5-18-18 COMMENTS	MKH	A		
DATE	DESCRIPTION	BY	REV.		



STABILIZED CONSTRUCTION ENTRANCE:

NOT TO SCALE

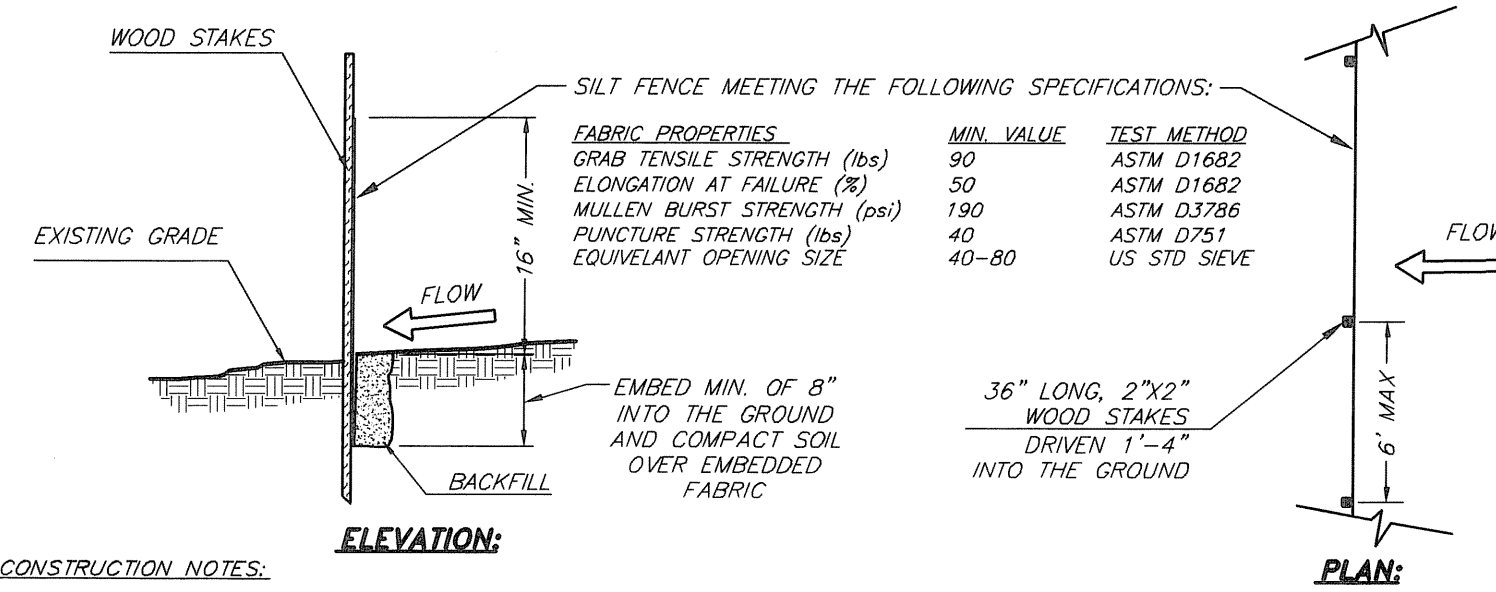
MAINTENANCE NOTES:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATION

- THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE;
- THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE;
- THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER;
- THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY;
- THE PAD SHALL BE AT LEAST 6 INCHES THICK;
- A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD; AND
- THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR REPLACEMENT OF SEDIMENT TRAP. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.



CONSTRUCTION NOTES:

- FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF FENCE.
- THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET;
- THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1;
- FENCES SHALL BE INSTALLED AS FOLLOWS:
 - FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
 - THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE;
 - THE BASE OF THE FENCE SHALL BE:
 - FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC; OR
 - IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM THICKNESS OF 8 INCHES OF 1/4-INCH STONE;
 - SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND
 - ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;
- FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY; AND
- SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE FENCE.
- INSTALL FENCE PER MANUFACTURER'S SPECIFICATIONS.
- SEDIMENT DEPOSITS SHALL BE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATE USING THE APPROPRIATE VEGETATIVE BMP.

SILT FENCE DETAIL:

NOT TO SCALE

TAX MAP 9 LOT 63

CONSTRUCTION DETAILS
FARRS AUTO REPAIR

LOCATED AT:
680 RAYMOND ROAD
CHESTER, NEW HAMPSHIRE

OWNERS:
EDEL BARRED PROPERTIES, LLC
c/o JOHNATHAN FARR
40 GIGANTE DRIVE
HAMPSTEAD, N.H. 03841

SCALE: NONE MAY 18, 2018 SHEET 8 OF 8

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	1460-01
GAC	JST	GAC	602	11	

Bedford Design Consultants Inc.

ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com

Appendix F – Application for Site Plan Review

Chester Planning Board

Map # 9 Lot # 63

To be completed by the Applicant:

1. Owner of Record: Elsel Barred Properties LLC
Address 40 Gigante Dr #6
Hampstead N.H. 03841
Telephone Number 603-329-4567

2. Applicant if different than owner: Jonathan Farr
Address 40 Gigante Dr #6
Hampstead N.H. 03841
Telephone Number 603-329-4567

3. List professionals directly involved in the plan preparation:
Name Bedford Design Consultants George Chelwick
Address 177 East Industrial Park Dr.
Manchester N.H. 03109
Telephone Number 603-622-5533 FAX 603-622-4740

Name _____
Address _____

Telephone Number _____

4. List owners with 10% or more interest. Include Deed Reference BK 5862 PG 1256
Name Jonathan + Bonnie Farr

Address

40 Gigante Dr #6
Hampstead NH 03841

Telephone Number

603-329-4567

Name

Address

Telephone Number

5. Location of proposed plan:

Road Name

680 Raymond Rd Chester NH 03036

6. Attach an abutters list and include the applicant's name. This list should state the names and addresses, as well as their Tax Map and Lot numbers.
7. Attach a sheet with the names and addresses of any additional professionals directly involved in the plan preparation.
8. Provide a written description of your intent for this project. A separate sheet may be used for this purpose. Consult the Regulations and Ordinances, Town of Chester, for more detailed information.


Signature of Owner of Record

5-24-18
Date

Representative of Owner of Record

Date

Appendix G – Site Plan Review Checklist

Chester Planning Board

Map # 9 Lot # 63

A. To be completed by the Applicant:

1. Owner of record: Edsel Barrel Properties LLC
2. Name of Development: Farrs Auto Repair
3. Location of Development: 680 Raymond Rd Chester NH 03036
4. Is this Development located within the Commercial Zone? Yes ☒ No ☐
5. If "NO", attach a copy of the "Notice of Decision" from the Zoning Board of Adjustment.

B. INFORMATION SHOWN ON SITE DEVELOPMENT PLAN – EXISTING (mark each item with a "√" (check) when submitted or with an "X" if it does not apply.)

1.	Names, addresses, and Map/Lot numbers for all abutters	✓
2.	Locus drawn to an adequate scale	✓
3.	Name of proposed development	✓
4.	Name and address of the Owner of Record with signature	✓
5.	Name and address of all licensed professionals involved in the development of the plan. Include seal.	✓
6.	Title, scale, North arrow, date and surveyor's seal	✓
7.	Error of Closure statement and signature	✓
8.	Certificate of Title (Deed Reference)	✓
9.	Streets and Street Names	✓
10.	Show all existing features on property	✓
11.	Services and utilities	✓
12.	Total acreage and square footage of parcel	✓
13.	Location and description of all permanent lot boundary markers	✓

C. SUBMISSION ITEMS – EXISTING (mark each item with a "√" (check) when submitted or with an "X" if it does not apply.)

1.	Supplemental sketch plan	X
2.	Photographs	X
3.	Test pit locations and results	✓
4.	Soil types and soil boundaries	✓

D. INFORMATION SHOWN ON SITE DEVELOPMENT PLAN – PROPOSED (mark each item with a "√" (check) when submitted or with an "X" if it does not apply. Also mark with an "*" (asterisk) those features requiring review by the town's consulting engineer.)

Chester Planning Board
Site Plan Review Checklist

1.	New grades, topographic contours	✓
2.	Structures; size, height	✓
3.	Streets, drives, parking spaces, sidewalks, dimensions and number	✓
4.	Loading spaces, facilities	✓
5.	Public and private utilities	✓
6.	Landscaping; type, size and spacing	✓
7.	Exterior lighting and signs	✓
8.	Storm drainage plan, including snow removal plans	✓
9.	Circulation plan showing vehicular and pedestrian circulation	X
10.	Access plan; required public street changes, sight distance	X
11.	Dimensions between structures and property lines	✓
12.	Stamp of NH P.E. or L.L.S.	✓
13.	Public or common land	X

E. SUBMISSION ITEMS – PROPOSED (mark each item with a “√” (check) when submitted or with an “X” if it does not apply. Also mark with an “*” (asterisk) those features requiring review by the town’s consulting engineer.)

1.	Drainage calculations	✓
2.	Legal descriptions of easements, Condominium Assoc. Documents	X
3.	Community facilities impact studies (specify areas of study)	X
4.	Environmental Impact Statement (specify areas of study)	X
5.	Agreement for land conveyance to Town	X
6.	Other (specify)	X

F. Approvals (check “√” if required)

Required		Date of Approval
	Local Excavation Permit	
X	WSPCC Alteration of Terrain Permit	
X	Water Resource Board Approval	
X	WSPCC Dredge and Fill Approval	
X	WSPCC Approval for Sewage Disposal System – Design	
X	WSPCC Approval for Sewage Disposal System – Construction	
X	WSPCC Approval for Sewage Disposal System – Operation	
X	WSPCC Community Water Supply Approval	
X	WSPCC Underground Storage Tank Notification	
X	Department of Transportation Permit	
	Other (specify)	

Chester Planning Board
Site Plan Review Checklist



Signature of Owner of Record

5-29-18

Date

Representative of Owner of Record

Date

Our goal is to become vital, integrated members of the Chester community by living and working on the C1 (Commercial) property that we own at 680 Raymond Rd.

The intention of our proposal is to build one 42 foot x120 foot building that will house both our home and our auto repair business.

We would like to relocate our current business, Farris Auto Repair, to the "shop" section of the building. This will include 5 bays, for State Inspections, Oil Changes, Alignments and the repair of foreign and domestic vehicles. Our shop does NOT offer autobody, paint work or car sales. We DO run a clean shop. All fluids are processed in an environmentally friendly manor. Recycling is a top priority. Working from home will not only helps to reduce overall costs but will greatly decrease our "carbon footprint".

With our home and shop in the same building, it is guaranteed that the grounds will be attractively appointed, and the building will be well insulated. Any noise will be minimal.

Jonathan & Bonnie Farr

Farris Auto Repair

Bedford Design Consultants

George Chadwick

177 East Industrial Park Dr.

Manchester, NH 03109

Brenda Marie Hathaway	641 Raymond Rd.	Chester, NH	03036	Map 9 Lot 52
Kathryn Stapleford	671 Raymond Rd.	Chester, NH	03036	Map 9 Lot 62
Douglas M. & Paula J. Potter	P.O. Box 279	Chester, NH	03036	Map Lot 62-1
NABH Property LLC	239 Steam Mill Rd.	Auburn, NH	03032	Map 9 Lot 63-8
Shaker Heights Estates Condo Assoc.	22 Shaker Heights Rd.	Chester, NH	03036	Map 9 Lot 63-1
Ronald A. & Dorothy M. Petrie	11 Towle Rd.	Chester, NH	03036	Map 9 Lot 60
Dean A. Watson & Judith E. Oak	19 Towle Rd.	Chester, NH	03036	Map 9 Lot 59

Article 13 – Schedule of Charges

The Planning Board shall set fees consistent with normal costs incurred in the review of site plans. The applicant shall be responsible for all such costs incurred by the Town of Chester, its Planning Board and its officials and agents in the review of such plans.

Site Plan Review

Abutters Fee \$ 10.00 – domestic x per Abutter
\$ 20.00 - international

Application Fee \$100.00 + Additional fee determined by size of
proposed building (as follows):

0-2,000 square feet	=	\$100.00
2,000 – 4,000 square feet	=	\$125.00
4,000 – 25,000 square feet	=	\$275.00
25,000 – 100,000 square feet	=	\$525.00
Over 100,000 square feet	=	\$775.00

External Site Work Only Fee = \$175.00 (e.g. paving, landscaping, etc)

Existing Plan Review/Update Fee = \$175.00 (e.g. paving, landscaping, etc.)

Recording Fee (mylar)	\$ 40.00 Per Page
Recording Fee (Conditions of Approval)	\$ 35.00
Noticing (newspaper)	\$150.00
Postage for re-mailing	\$5.00
Engineering Review Fee	Per Contract